AA 401-07 Weems Creek Baptist Church Site Plan 07-0066

51829-6295



Martin O'Malley
Governor

Anthony G. Brown Lt. Governor



Margaret G. McHale Chair

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

October 25, 2010

Ms. Kelly Krinetz Anne Arundel County Office of Planning and Zoning 2664 Riva Road Annapolis, Maryland 21401

Re: Weems Creek Baptist Church

C09-0080-00NC

Dear Ms. Krinetz:

Thank you for forwarding the revised site plan for the above referenced development application for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet, 86,781 square feet of which is located within the Limited Development Area (LDA) of the Chesapeake Bay Critical Area. Current lot coverage within the Critical Area is 3,124 square feet. The applicant is proposing to increase the lot coverage to 12,922 square feet; 14.89% of the LDA portion of the site. At this time, I have no further comments in regard to this project.

Thank you for the opportunity to provide comment. If you have questions, please call (410) 260-3479.

Sincerely,

Natural Resource Planner

AA 401-07

Anthony G. Brown Lt. Governor



Margaret G. McHale Chair

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

August 3, 2010

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road
Annapolis, Maryland 21401

Re: Weems Creek Baptist Church

C09-0080-00NC

Dear Ms. Krinetz:

Thank you for forwarding the revised site plan for the above reference development application for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet, 86,781 square feet of which is located within the Limited Development Area (LDA) of the Chesapeake Bay Critical Area. Current lot coverage within the Critical Area is 3,124 square feet. The applicant is proposing to increase the lot coverage to 12,922 square feet; 14.89% of the LDA portion of the site. I have outlined my remaining comment below:

- 1. The applicant has failed to address the comment regarding using native species in my March 17, 2010 letter. The Landscape Schedule contains two species of trees and two species of shrubs which are not native to Maryland. We recommend that the non-native species be replaced as follows:
 - Carpinus betulus with Carpinus caroliniana;
 - Ginkgo biloba with Liriodendron tulipifera, Populus deltoises, or Ulmus rubra.
 - 'Nancy' Azalea and Catawba Rhododendron with Rhododendron atlanticum, Rhododendron calendulaceum, Rhododendron canescens, Rhododendron maximum, or Rhododendron periclymenoides

Thank you for the opportunity to provide comment. If you have questions regarding this project, please call (410) 260-3479.

Sincerely,

L. Turcan Hockaday

Natural Resource Planner

AA 401-07

Martin O'Malley

Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale Chair

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

March 17, 2010

Ms. Kelly Krinetz Anne Arundel County Office of Planning and Zoning 2664 Riva Road Annapolis, Maryland 21401

Re: Weems Creek Baptist Church

C09-0080-00NC

Dear Ms. Krinetz:

Thank you for forwarding information on the above reference development application for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet, 86,781 square feet of which is located within the Limited Development Area (LDA) of the Chesapeake Bay Critical Area. Current lot coverage within the Critical Area is 3,124 square feet. The applicant is proposing to increase the lot coverage to 12,922 square feet; 14.89% of the LDA portion of the site. I have outlined my remaining comment below:

• The Landscape Schedule on sheet 11 of 12 of the revised SDP includes species of plants which are not native to Maryland. We recommend that the applicant replace the non-native species with native species of plants. A list of such species can be found in the U.S. Fish and Wildlife Service's Native Plants for Wildlife Habitat and Conservation Landscaping: Chesapeake Bay Watershed document, available at http://www.nps.gov/plants/pubs/chesapeake/

Thank you for the opportunity to provide comment. If you have questions regarding this project, please call (410) 260-3479.

Sincerely,

h. h Juh L. Turcan Hockaday

Natural Resource Planner

AA 401-07

Martin O'Malley

Governor

Anthony G. Brown Lt. Governor



Margaret G. McHale

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

December 22, 2009

Ms. Kelly Krinetz Anne Arundel County Office of Planning and Zoning 2664 Riva Road Annapolis, Maryland 21401

Re:

Weems Creek Baptist Church

C09-0080-00NC

Dear Ms. Krinetz:

Thank you for forwarding information on the above reference development application for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet, 86,781 square feet of which is located within the Limited Development Area (LDA) of the Chesapeake Bay Critical Area. Current lot coverage within the Critical Area is 3,124 square feet. The applicant is proposing to increase the lot coverage to 12,922 square feet; 14.89% of the LDA portion of the site. Based on this information, we have the following comments:

• The total existing forest in the LDA portion of the site is 35,845 square feet. The proposed clearing is 8,901 square feet, which is 24.8% of the existing forest. The zoning ordinance requires the applicant to have approval by planning and zoning in order to clear more than 20% of the parcel. Provided this approval is obtained, the applicant will be required to mitigate at a 1:1.5 ratio for all clearing. In this case, the total mitigation required for the proposed clearing is 13,351 square feet. The mitigation planting plan must be amended to reflect this mitigation requirement.

Thank you for the opportunity to provide comment. If you have questions regarding this project, please call (410) 260-3479.

Sincerely,

L. Turcan Hockaday

Natural Resources Planner

cc: AA 401-07

Anthony G. Brown Lt. Governor



Margaret G. McHale Chair

Ren Serey

Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

July 9, 2007

Ms. Suzanne Schappert Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6301 Annapolis, Maryland 21401

Re: Weems Creek Baptist Church Site Plan 07-0066

Dear Ms. Schappert:

This office has received the above-referenced site plan for review and comment. The applicant is proposing to add additional parking to the existing church complex. The site is 217,800 square feet with 86,781 square feet in the Limited Development Area of the Critical Area. Total disturbed area in the Critical Area is proposed to be 10,633 square feet (12%). My comments are outlined below.

1. The proposed clearing appears to be under 20%; therefore 1:1 mitigation will be required. Since no mitigation area is shown, I assume mitigation will be handled through a fee. If not, please have the applicant indicate the area of mitigation on the plan and plat.

Thank you for the opportunity to comment. Please include this letter in your file and submit it as part of the record for variance. Please notify the Commission of the decision made in this case.

If you have any questions, please telephone me at (410) 260-3481 or Lisa Hoerger at (410) 260-3478.

Sincerely,

Megan J. Sines

Natural Resources Planner

cc: AA 401-07

190 ADMIRAL COCHRANE DRIVE STE. 175 C/O TIMOTHY J. MARTIN, P.L.S

WEEMS CREEK BAPTIST CHURCH

NNAPOLIS, MARYLAND 21401

600 BESTGATE RDAD

PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THE PLAI

SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND FOURTEEN DAYS FOR ALL OTHER DISTURBED

6. THE OEVELOPER MUST REQUEST THAT THE SECIMENT CONTROL INSPECTOR APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION

9. APPROVAL SHALL BE REQUESTED ON FINAL STABILIZATION OF ALL SITES WITH DISTURBED AREAS IN EXCESS OF TWO ACRES BEFORE REMOVAL OF CONTROLS

VED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER / DEVELOPER

DETAILS & SPECIFICATIONS FOR VEGETATIVE ESTABLISHMEN

THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:

SOIL MUST CONTAIN SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

FEET. HARROW OR DISK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES ON SLOPES FLATTER THAN 3:

METHOD FOR SECURING MULCH, HOWEVER, IT IS LIMITED TO RELATIVELY FLAT AREAS WHERE EQUIPMENT CAN OPERATE SAFELY.

SEEC: PERENNIAL RYE-0.92 POUNDS PER 1,000 SQUARE FEET (FEBRUARY 1 THROUGH APRIL 30 OR AUGUST 15 THROUGH NOVEMBER 1).

SOLUBLE SALTS SHALL BE LESS THAN 500 PARTS PER MILLION (PPM).

AMENDMENTS MADE AS RECOMMENDED BY A CERTIFIED AGRONOMIST

SPREAD MULCH UNIFORMLY, MECHANICALLY OR BY HANO, TO A OEPTH OF 1-2 INCHES.

EQUAL SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURERS

MILLET-0.92 POUNOS PER 1,000 SQUARE FEET (MAY 1 THRDUGH AUGUST 15)

OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

LIME: 100 POUNOS OF COLOMITIC LIMESTONE PER 1,000 SQUARE FEET.

SUFFICIENTLY SO AS TO BE STABLE AND PREVENT EROSION AND SLIPPAGE.

FERTILIZER: 15 POUNDS OF 10-10-10 PER 1,000 SQUARE FEET.

D. SOILSHALL CONTAIN 1.5% MINIMUM ORGANIC MATTER BY WEIGHT

10-15-10

5. THE APPROVAL OF THIS PLAN FOR SEDIMENT AND ERDSIDN CONTROL OCES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH ANY FEDERAL, STATE OR

4. THE SEDIMENT CONTROL APPROVALS OF THIS PLAN EXTEND DNLY TO AREAS AND PRACTICES IDENTIFIED AS PROPOSED WORK

ANO SEDIMENT CONTROL PLAN, THE GRADING OR BUILDING PERMIT AND THE ORDINANCE.

NAME: WEEMS CREEK BAPTIST CHURCH

CONSULTANT'S CERTIFICATION

PHDNE: 410-507-6073

EROSION CONTROL, I HAVE R

1. PERMANENT SEEDING.

A. SOIL PH SHALL BE BETWEEN 6.0 AND 7.0

7. ALL MATERIAL SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN

NOT BE AUTHORIZED UNTIL THE INITIAL APPROVAL BY THE SEDIMENT AND EROSION CONTROL INSPECTOR IS GIVEN

ING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANÈNT STABILIZATION SHALL BE COMPLETEO WITHIN SEVEN CALENDAR OAYS FOR THE SURFACE OF ALL CONTROLS, DIKES,

OR GRADED AREAS DN THE PROJECT SITE. TEMPORARY STABILIZATION OF THE SURFACE OF PERIMETER CONTROLS, DIKES, SWALES, DITCHES AND PERIMETER SLOPES MAY BE ALLOWED AT THE

-8.- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF TWO ACRES, APPROVAL OF SEDIMENT AND EROSION CONTROL INSPECTOR SHALL BE REQUIRED ON COMPLETION OF INSTALLATION OF PERIMETER ERDSIDN AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING DR GRADING INSPECTION APPROVALS MAY

C/D: FRED GREENTREE

___ FIRM NAME: BAY ENGINEERING INC.

410.897.9290

190 ADMIRAL COCHRANE DR, SUITE 175

ANNAPOLIS, MARYLAND 21401

C/O TIMOTHY J. MARTIN, L.S.

10. EXISTING TOPOGRAPHY MUST BE FIELD VERIFIED BY THE RESPONSIBLE PERSONNEL TO THE SATISFACTION OF THE SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING WORK

"THE DEVELOPER'S PLANS TO CONTROL SILT AND EROSIDN IS ADEQUATE TO CONTAIN THE SILT AND ERDSIDN ON THE PROPERTY COVERED BY THE PLAN. I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL DEPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ANNE ARMINEL SOIL CONSERVATION DISTRICT PLAN SUBMITTAL GUIDELINES AND THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SEDIMENT AND

FOLLOWING INITIAL SOIL DISTURBANCES OR REGISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS FORT HE SURFACE OF ALL

PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GRATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND FDURTEEN OAYS FOR ALL OTHER OISTURBED OR GRAOED AREAS ON THE PROJECT SITE.

NO STOCKPILING OF MATERIAL IS ALLOWEO. IF NEEDEO, SOIL TESTS SHOULD BE OONE BEFORE AND AFTER A 6-WEEK INCUBATION PERIOD TO ALLOW OXIDATION DE SULFATES

2. THE SOIL SHALL CONTAIN LESS THAN 40% CLAY BUT ENOUGH FINE-GRAINED MATERIAL (> 30% SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF

. IF THESE CONDITIONS CANNOT BE MET BY SOILS ON SITE, ADDING TOPSOIL IS REQUIRED IN ACCORDANCE WITH SECTION 21 STANDARD AND SPECIFICATION FOR TOPSOIL OR

ACCEPTABLE MEANS BEFORE SEEDING OCCURS. FOR SITES LESS THAN 5 ACRES, APPLY 100 POUNDS DOLOMITIC LIMESTONE AND 21 POUNDS OF 10-10-10 FERTILIZERS PER 1,000 SQUARE

MIST FIRM SEEOBEO WITH A CYCLDNE SEEOER, CULTIPACKER SEEDER OR HYOROSEEOER (SLURRY INCLUDES SEEDS AND FERTILIZER, RECOMMENDED ON STEEP SLOPES ONLY). MAXIMUM SEED DEPTH SHOULD BE 1/4 INCH IN CLAYEY SOILS AND 1/2 INCH SANDY SOILS WHEN USING OTHER THAN THE HYDROSEEDER METHOD. IRRIGATE WHERE NECESSARY TO SUPPORT ADEQUATE GROWTH UNTIL VEGETATION IS FIRMLY ESTABLISHED. IF OTHER MIXES ARE TO BE USED, SELECT FROM TABLE 25, ENTITLEO PERMANENT SEEDING FOR LOW MAINTENAN

BE UNROTTED, UNCHOPPED, SMALL GRAIN STRAW APPLIEO AT A RATE OF 2 TONS PER ACRE OR 90 POUNOS PER 1,000 SQUARE FEET (2 BALES), IF A MULCH-ANCHORING

B. SEEDBED PREPARATION: AREA TO BE SEEDEO SHALL BE LOOSE AND FRIABLE TO A DEPTH OF AT LEAST 3 INCHES. THE TOP LAYER SHALL BE LOOSENED BY RAKING, DISKING OR OTHER

C. SEEOING: APPLY 5-6 POUNOS PER 1,000 SQUARE FEET OF TALL FESCUE BETWEEN FEBRUARY 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND OCTOBER 31. APPLY SEED UNIFORMLY ON A

AREAS" FROM THE CURRENT STANOARDS AND SPECIFICATIONS FOR SOIL EROSION AND SECIMENT CONTROL. MIXES SUITABLE FOR THIS ARE 1, 3 AND 5-7. MIXES 5-7 ARE SUITABLE IN

O. MULCHING: MULCH SHALL BE APPLIED TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING, OURING THE TIME PERIODS WHEN SEEDING IS NOT PERMITTED, MULCH SHALL BE APPLIED

TOOL IS USED, APPLY 2.5 TONS PER ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF PROHIBITED NOXIDUS WEEDS.

E. SECURING STRAW MULCH: STRAW MULCH SHALL BE SECURED IMMEDIATELY FOLLOWING MULCH APPLICATION TO MINIMIZE MOVEMENT BY WIND OR WATER. THE FOLLOWING METHODS

(I) USE A MULCH-ANCHORING TOOL, WHICH IS DESIGNEO TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE TO A MINIMUM OEPTH OF 2 INCHES. THIS IS THE MOST EFFECTIVE

(IV) LIGHTWEIGHT PLASTIC NETTING MAY BE USED TO SECURE MULCH. THE NETTING WILL BE STAPLED TO THE GROUND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

NO FILLS MAY BE PLACED ON FROZEN GROUND. ALL FILL TO BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NDT MORE THAN 8 INCHES. ALL FILL IN ROADWAYS AND PARKING AREAS IS TO BE CLASSIFIED TYPE 2 AS PER ANNE ARUNDEL COUNTY CODE -ARTICLE 21, SECTION 2-308, AND COMPACTED TO 90% DENSITY; COMPACTION TO BE DETERMINED BY ASTMD-1557-66T) (MODIFIED PROCTOR). ANY FILL WITHIN THE BUILDING AREA IS TO BE COMPACTED TO A MINIMUM OF 95% DENSITY AS DETERMINED

BY METHODS PREVIOUSLY MENTIONED. FILLS FOR POND EMBANKMENTS SHALL BE COMPACTED AS PER MD-378 CONSTRUCTION SPECIFICATIONS. ALL OTHER FILLS SHALL BE COMPACTED

INSTALLATION DF SOD SHOULD FOLLOW PERMANENT SEEDING OATES. SEEDBEO PREPARATION FOR SOD SHALL BE AS NOTED IN SECTION (B) ABOVE. PERMANENT SOD IS TO BE TALL

(II) WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNOS PER ACRE. IF MIXED WITH WATER, USE 50 POUNDS

(III) LIQUID BINOERS MAY BE USEO. APPLY AT HIGHER RATES AT THE EDGES WHERE WINO CATCHES MULCH, SUCH AS IN VALLEYS AND IN CRESTS DF SLOPES. THE REMAINDER OF THE AREA

SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION. BINOERS LISTED IN THE 1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL OR APPROVED

OR AS RECOMMENDED BY THE SEDIMENT CONTROL INSPECTOR. RATES AND ANALYSES WILL BE PROVIDED TO THE GRADING INSPECTOR AS WELL AS THE CONTRACTOR.

DISTURE. AN EXCEPTION IS IF LOVEGRASS OR SERECIA LESPEDEZA IS TO BE PLANTED, THEN A SANDY SOIL (< 30% SILT PLUS CLAY) WOULD BE ACCEPTABLE.

A. SOIL TESTS: LIME AND FERTILIZER WILL BE APPLIED PER SOIL TESTS RESULTS FOR SITES GREATER THAN 5 ACRES. SOIL TESTS WILL BE DONE AT COMPLETION OF INITIAL ROUGH GRADING

1. OCCURRENCE OF ACID SULFATE SOILS (GRAYISH BLACK COLOR) WILL REQUIRE COVERING WITH A MINIMUM OF 12 INCHES OF CLEAN SOIL WITH 6 INCHES MINIMUM CAPPING OF TOP SOIL.

SITE DEVELOPMENT PLANS FOR WEEMS CREEK BAPTIST CHURCH

TAX MAP 45, GRID 16, PARCEL 78 ANNAPOLIS, MD 21401 ZONED: R2 GRADING PERMIT #G02012938 SITE DEVELOPMENT PLAN #2009-0080-00-NC SECOND DISTRICT ANNE ARUNDEL COUNTY

ZONING / SETBACKS R2 - RESIDENTIAL - (5.00 Ac.±)

> Front: 30' Rear: 25' Side: 7' Corner Side: 20'



NOTE: FOR LEGEND, SEE SHEET 2

SEQUENCE OF CONSTRUCTION

48 HOURS BEFORE COMMENCING WORK AT (410) 222-7780. WORK MAY NOT COMMENCE UNTIL THE PERMITTEE OR THE RESPONSIBLE PERSONNEL HAVE MET ON SITE WITH THE SEDIMENT AND EROSION CONTROL INSPECTOR TO REVIEW THE APPROVED PLANS.

2. CLEAR MINIMAL AREAS TO INSTALL ADDITIONAL PERIMETER SEDIMENT CONTROLS. REMOVE EXISTING STONE OUTLET SEDIMENT TRAP AND EARTH DIKES AS INDICATED ON THE PLANS. PLACE REINFORCED SILT FENCE IN EXISTING BIORETENTION AREAS AS INDICATED.

PERIMETER SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL THE CONTRACTOR STABILIZES THE DISTURBED AREAS AND INSTALLS THE PAVEMENT AREAS TO A SUB-BASE CONDITION AND ALL AREAS HAVE TO BE GRADED AND STABILIZED AS PROPOSED ON THIS GRADING PERMIT AND WITH INSPECTOR'S

OBTAIN INSPECTOR'S APPROVAL THAT ALL SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN INSTALLED CORRECTLY. UPON INSPECTORS APPROVAL BEGIN CLEARING AND GRUBBING OF THE SITE AREA TO BE 1 WEEKS

- MECHANICALLY STABILIZE ALL HEAVY USE AREAS, INCLUDING STAGING ZONES, LAY-DOWNS ZONES AND TRAVEL LANES. (NOTE: THESE AREAS MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.)
- ROUGH GRADE SITE FOR CONSTRUCTION OF PROPOSED ADDITIONAL PARKING AREAS AND BUILDING EXPANSION. 1 MONTH
- * 6. CONSTRUCT PROPOSED PARKING AREAS TO A SUB-BASE CONDITION
- * 7. MODIFY EXISTING EVANGELICAL PRESBYTERIAN PRIVATE POND RISER AS SHOWN ON THESE PLANS.
- * 8. EXCAVATE AREA REQUIRED FOR PROPOSED BUILDING FOOTERS AND FOUNDATIONS.

• NOTE: BUILDING CONSTRUCTION MAY NOT PROCEED PAST THE GROUND FLOOR UNTIL ALL REMAINING DISTURBED AREAS HAVE BEEN PERMANENTLY OR TEMPORARILY STABILIZED. DURING BUILDING CONSTRUCTION BEYOND THE GROUND FLOOR, ALL DISTURBED AREAS MUST BE STABILIZED AT THE END OF EACH BUSINESS DAY

..... 1 MONTH 9. FINISH PROPOSED BUILDING EXPANSION AND INSTALL PROPOSED FIRE HOUSE CONNECTION 4 MONTHS

.... 2 WEEKS

11. SUBJECT TO SEDIMENT CONTROL INSPECTORS APPROVAL, REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES INCLUDING ANY TEMPORARY PLUGS TO THE S.W.M. FACILITY. PERFORM A FINAL CLEANUP AND MAINTENANCE OF VEGETATION AS NECESSARY TO ENSURE ESTABLISHED GROWTH OF ALL SEEDED AREAS.

* ONLY WITH INSPECTORS APPROVAL SHALL ITEMS #6 -8 BE PERFORMED CONCURRENTLY.

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO NOTIFY THE ANNE ARUNDEL COUNTY INSPECTION AND PERMITS AND THE CERTIFYING PROFESSIONAL ENGINEER AT LEAST 48 HOURS PRIOR TO CONSTRUCTION OF ANY PART OF THE STORMWATER MANAGEMENT FACILITY. IT IS ALSO THE RESPONSIBILITY OF THE DEVELOPER TO SUBMIT AS-BUILT DRAWINGS TO ANNE ARUNDEL COUNTY OF THE STORMWATER MANAGEMENT TRENCH WITNESSED BY A PROFESSIONAL ENGINEER.

ALL EXISTING INLETS SHALL BE COVERED TO PREVENT SEDIMENT INFLOW UNTIL FINAL STABILIZATION. UTILIZE INLET PROTECTION DETAILS AS SHOWN ON THE EROSION CONTROL DETAIL SHEET, SILT SACKS SHALL BE USED WHEREVER POSSIBLE. IF THE PROPOSED INLET CANNOT BE FITTED WITH A SILT SACK THEN THE STANDARD INLET PROTECTION DETAIL ON SHEET WILL BE INSTALLED.

EXISTING PARKING REQUIREMENTS PER A.A. COUNTY CODE: RELIGIOUS FACILITY = 1 PARKING SPACE PER 100 SQ. FT. (UNFIXED SEATS) EXISTING FLOOR AREA = 12,946 SQ. FT. (TWO FLOORS) x 0.75 = 9,710 SQ. FT. EX. PARKING REQUIRED: 98 SPACES (INCLUDING 4 HANDICAPPED ACCESSIBLE SPACES)
EX. PARKING PROVIDED: 155 SPACES*

* - EXISTING PARKING TOTALS INCLUDE THOSE SPACES CONSTRUCTED IN PHASE I OF THE PROJECT

PROPOSED PARKING REQUIREMENTS PER A.A. COUNTY COD RELIGIOUS FACILITY = 1 PARKING SPACE FOR EVERY 3 FIXED SEATS PROPOSED NUMBER OF SEATS = 480 SEATS PARKING REQUIRED: 160 SPACES

(INCLUDING 6 HANDICAPPED ACCESSIBLE SPACES) (INCLUDING 7 HANDICAPPED ACCESSIBLE SPACES)

1 OF 12

2 OF 12

3 OF 12

4 OF 12

5 OF 12

6 OF 12

7 OF 12

8 OF 12

9 OF 12

10 OF 12

11 OF 12

12 OF 12

DATE

DRAWING INDEX

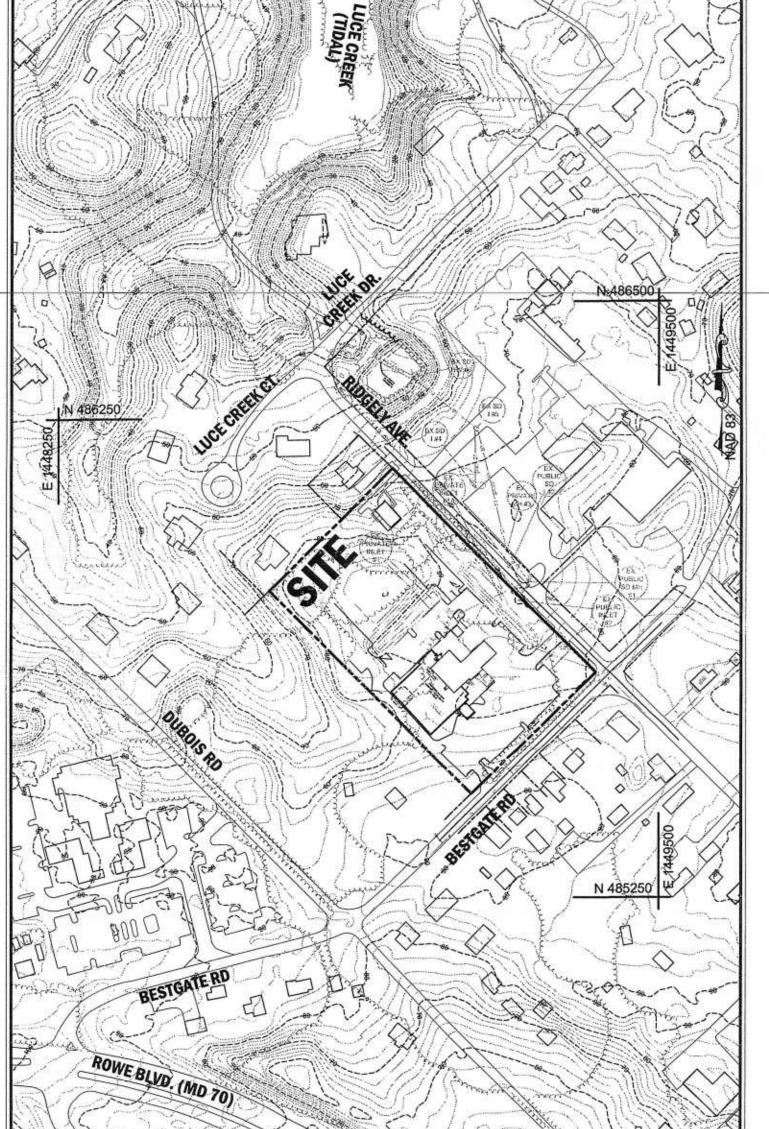
... COVER SHEET

GENERAL NOTES

- PROPERTY IS SHOWN ON TAX MAP 45, GRID 16 PARCEL 78 IN ANNAPOLIS, ANNE ARUNDEL COUNTY, MARYLAND BY DEED 1268 / 244 DATED JANUARY, 21 1959.
- 2. EXISTING ZONING OF THE SITE IS R2 RESIDENTIAL.
- SITE ADDRESS: 600 BESTGATE ROAD, ANNAPOLIS, MD 21401.
- TAX ACCOUNT NO.: 02-000-02468987.
- 5. TOTAL SITE AREA IS 5.00 ACRES ± OR 217,800 SQUARE FEET ±.
- PROPERTY OUTLINES SHOWN HEREON ARE AS SHOWN ON AN ALTA SURVEY PREPARED BY BAY ENGINEERING, INC.
- EXISTING TOPOGRAPHY AND FEATURES SHOWN HEREON WERE TAKEN FROM ANNE ARUNDEL COUNTY TOPOGRAPHY AND SUPPLEMENTED WITH FIELD SURVEYS COMPLETED BY BAY ENGINEERING, INC ON JUNE 9, 2006. EXISTING UTILITIES AND FEATURES OF SURROUNDING PROPERTIES WERE TAKEN FROM A COMBINATION OF EXISTING COUNTY PUBLIC DRAWINGS AND
- THE SITE IS PARTIALLY LOCATED WITHIN THE LDA CLASSIFICATION OF THE CHESAPEAKE BAY CRITICAL AREA AND IS IN THE SEVERN RIVER WATERSHED. THERE ARE NO ARCHAEOLOGICAL FEATURES ON SITE.
- 9. SITE UTILITIES ARE AS FOLLOWS
- WATER PUBLIC (CITY OF ANNAPOLIS)
- SANITARY SEWER PRIVATE ONSITE SEPTIC SYSTEM
- 10. THE PROPERTY DESCRIBED HEREON IS LOCATED IN THE FLOOD HAZARD ZONE "C" (AREAS OF MINIMAL FLOODING) AS DELINEATED ON THE FIRM FLOOD INSURANCE MAP # 240008-0034C DATED MAY 2, 1983 FOR SAID COUNTY AND DISTRIBUTED BY THE FEDERAL EMERGENCY
- 11. THE COORDINATES AND BEARINGS SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM (NAD 83). VERTICAL AND HORIZONTAL CONTROL BASED ON A SURVEY OF ANNE ARUNDEL COUNTY MONUMENT 254 LOCATED AT N 491,568.193 AND E 1,447,150.111 (NAD 83) AT ELEVATION 11.51 (NGVD 29).
- 12. THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION PRIOR TO ANY CONSTRUCTION. ANY UTILITIES DAMAGED DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- 13. THE CONTRACTOR SHALL CALL "MISS UTILITY" (1-800-257-7777) A MINIMUM OF 5 DAYS IN ADVANCE OF ANY EXCAVATION, BORING, PILE DRIVING, AND/OR DIGGING FOR THE LOCATION OF GAS, ELECTRIC, WATER, SEWER, AND TELEPHONE LINES.
- DAMAGED OR REMOVED BY HIM DURING CONSTRUCTION. ALL DISTURBED AREAS OUTSIDE THE RIGHT OF WAY LINES SHALL BE RETURNED TO THEIR ORIGINAL CONDITION UNLESS OTHERWISE INDICATED AND SPECIFIED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY FENCE, DRIVEWAYS, UTILITY, ETC.

- 15. ALL CONSTRUCTION METHODS AND MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS DETAILS AND SPECIFICATIONS.
- 16. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK THAT WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- REFER TO GEOTECHNICAL REPORT PREPARED BY MARSHALL ENGINEERING, INC. DATED NOVEMBER 9, 2006. THE CONTRACTOR SHALL REVIEW AND FULLY UNDERSTAND THE CONTENTS OF THE REPORT PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SUB-SURFACE SOIL CONDITIONS AS PER THE REPORT.
- SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE MOST CURRENT VERSION OF OSHA STANDARDS AND/OR REGULATIONS.
- DEVIATION TO THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY CHANGE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FOR SAID CHANGE FROM THE ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR. SAID CHANGES MAY WARRANT COUNTY REVIEW AND APPROVAL.
- 20. THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSION
- 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF HIS CONSTRUCTION WITH THE CONSTRUCTION BY OTHER CONTRACTORS.
- THE UTILITY POLES SHALL BE RELOCATED AT THE OWNER'S EXPENSE ONLY IN CASES WHERE THEY WILL INTERFERE WITH CONSTRUCTION.
- 23. ROOF DRAINS/LEADERS/DOWNSPOUTS TO DISCHARGE ONTO AN APPROVED SPLASH BLOCK.
- INSPECTIONS AND PERMITS (222-7780) 48 HOURS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITY
- 25. THE CONTRACTOR SHALL SAW CUT ALL JOINTS WHERE PROPOSED CONSTRUCTION MEETS THE EXISTING PAVEMENT.
- 27. ALL UTILITIES (I.E., ELECTRIC, WATER, GAS, AND COMMUNICATIONS) SHALL BE PROVIDED
- 28. CUT AND FILL QUANTITIES PROVIDED IN THE INFORMATION STATEMENT DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS WHICH MAY
- 29. THE CONTRACTOR IS TO TEST PIT FOR EXISTING UTILITY SIZE AND LOCATION IN THE AREA OF THE PROPOSED FIRE HOUSE CONNECTION WITH THE EXISTING WATER IN BESTGATE
- 30. ALL PARKING SPACES NOT ABUTTING CURBING MUST USE PRECAST WHEEL STOPS.
- PROTECTED BY AN AUTOMATIC SPRIKNLER SYSTEM IN ACCORDANCE WITH ANNE ARUNDEL COUNTY FIRE DEPARTMENT REQUIREMENTS.



LOCATION PLAN

POST-DEVELOPMENT OWNER DEVELOPER'S STABILIZATION CERTIFICATION

"ALL GRADING DRAINAGE STRUCTURES AND/OR SYSTEMS, EROSION AND SEDIMENT CONTROL PRACTICES INCLUDING FACILITIES AND VEGETATIVE MEASURES HAVE BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS".

(OWNER / DEVELOPER	
	PERMIT#'S	
	SITE DEVELOPMENT PLAN#	C2009-0080-00-NC
	GRADING PERMIT #	G02012938
	BUILDING PERMIT #	****
	A.A.S.C.D. #	650-09
	S.W.M. AGREEMENT #	08-7485
	PERC#	T02038807
	PREVIOUS SITE DEVELOPMENT PLAN #	C2007-0066

FLOOR AREA RATIO COMPUTATION TOTAL FIRST FLOOR AREA = 18,726 SQUARE FEET

OTAL SECOND FLOOR AREA = 10,280 SQUARE FEET TOTAL PROPOSED FLOOR AREA = 28,996 SQUARE FEET FLOOR AREA RATIO = 28996 SQUARE FEET / 217800 SQUARE FEET = 0.133

FESCUE, STATE APPROVED SOD; LIME AND FERTILIZER PER PERMANENT SEEDING SPECIFICATIONS AND LIGHTLY IRRIGATE SOIL PRIOR TO LAYING SOD. SOD IS TO BE LAID ON THE CONTOUR WITH ALL ENDS TIGHTLY ABUTTING. JOINTS ARE TO BE STAGGERED BETWEEN ROWS. WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH SDIL. ALL SLOPES STEEPER THAN 3:1, AS SHOWN, ARE TO BE PERMANENTLY SODDED OR PROTECTED WITH APPROVED EROSION CONTROL NETTING. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE INSTALLED ON FROZEN GROUND. SOO SHALL NOT BE TRANSPLANTED WHEN MOISTURE CONTENT (DRY DR WET) AND/OR EXTREME TEMPERATURE MAY ADVERSELY AFFECT ITS SURVIVAL. IN THE ABSENCE OF ADEQUATE RAINFALL, IRRIGATION SHOULO BE PERFORMED TO ENSURE ESTABLISHMENT OF SOD.

2. TEMPORARY SEEDING:

ENT CONTROL PLANS FOR MINING OPERATIONS MUST INCLUDE THE FOLLOWING SEEDING OATES AND MIXTURES, FDR SEEDING OATES OF : FEBRUARY 1 THROUGH APRIL 30 AND AUGUST 15 THROUGH OCTOBER 31, USE SEED MIXTURE OF TALL FESCUE AT THE RATE OF 2 POUNOS PER 1,000 SQUARE FEET AND SERICEA LESPEDEZA AT THE MINIMUM RATE OF 0.5 POUNDS PER 1,000 SQUARE FEET.

6. TOPSOIL SHALL BE APPLIED AS PER THE STANDARD AND SPECIFICATIONS FOR TOPSOIL FROM THE CURRENT MARYLAND STANOARDS AND SPECIFICATIONS FOR SOIL ERDSION AND NOTE: USE OF THIS INFORMATION COES NOT PRECLUDE MEETING ALL OF THE REQUIREMENTS OF THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SDIL EROSION AND NOTE: PROJECTS WITHIN 4 MILES OF THE BWI AIRPORT WILL NEED TO AOHERE TO MARYLAND AVIATION ADMINISTRATION'S SEEDING SPECIFICATION RESTRICTIONS

18. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION

19. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY

SHALL GOVERN.

22. ALL UTILITY POLES SHALL BE BRACED WHEN NECESSARY AT THE CONTRACTOR'S EXPENSE.

24. THE PERMITTEE (OR HIS REPRESENTATIVE) SHALL NOTIFY ANNE ARUNDEL COUNTY

26. ALL WATER AND SEWER UTILITIES SHALL BE SEPARATED BY A MINIMUM OF 10 FEET OR AS DIRECTED BY THE ENGINEER.

FROM EXISTING ADJACENT FACILITIES AND IN ACCORDANCE WITH THE UTILITY COMPANY REQUIREMENTS.

ROAD PRIOR TO ANY CONSTRUCTION BEGINNING.

31. DUE TO INSUFFICIENT FIRE FLOW, ALL STRUCTURE(S) IN THIS SUBDIVISION SHALL BE

erim B

10. FINISH GRADE SITE FINAL PAVE PARKING AREA, INSTALL LANDSCAPING AND PERMANENTLY STABILIZE ALL

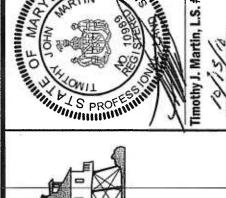
PARKING REQUIREMENTS

(INCLUDING 4 HANDICAPPED ACCESSIBLE SPACES)

PARKING PROVIDED: 174 SPACES

.... ENVIRONMENTAL CONSERVATION PLAN . SITE & UTILITY PLAN . GRADING & STORM DRAIN PLAN .. SEDIMENT EROSION CONTROL PLAN S.W.M. & BIORETENTION PLAN EXISTING DRAINAGE AREA MAP . PROPOSED DRAINAGE AREA MAP .. TRIBUTARY OUTFALL DRAINAGE AREA MAP . BORING LOGS & SEDIMENT EROSION CONTROL DETAILS LANDSCAPE & BIORETENTION PLANTING PLAN AND DETAILS REFORESTATION PLANTING PLAN

C09-0030 00 NC



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OCTOBER, 2010 09-3278 Scale AS SHOWN Drawn By KWB

Approved By Folder Reference

Designed By

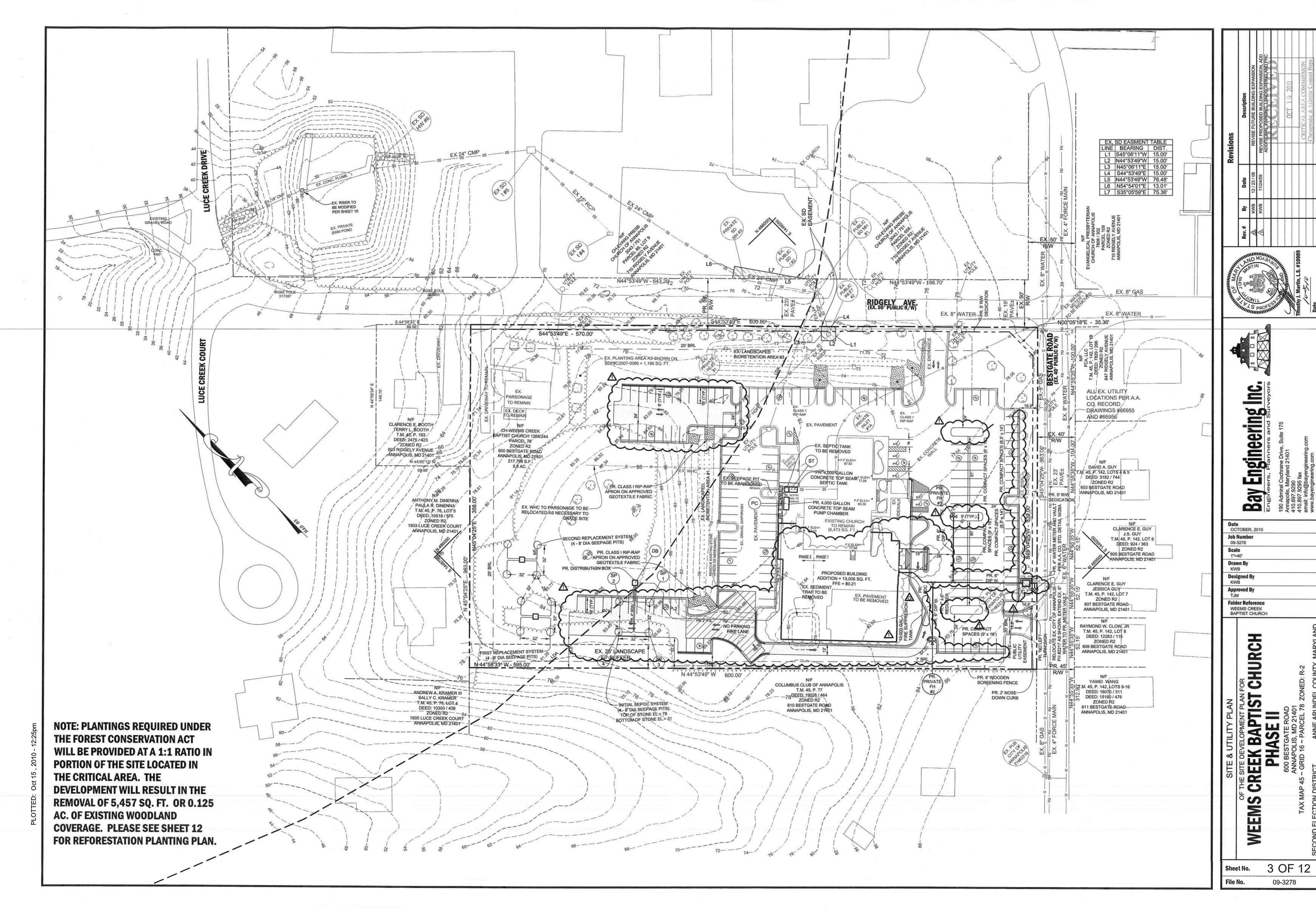
WEEMS CREEK BAPTIST CHURCH CHURCH

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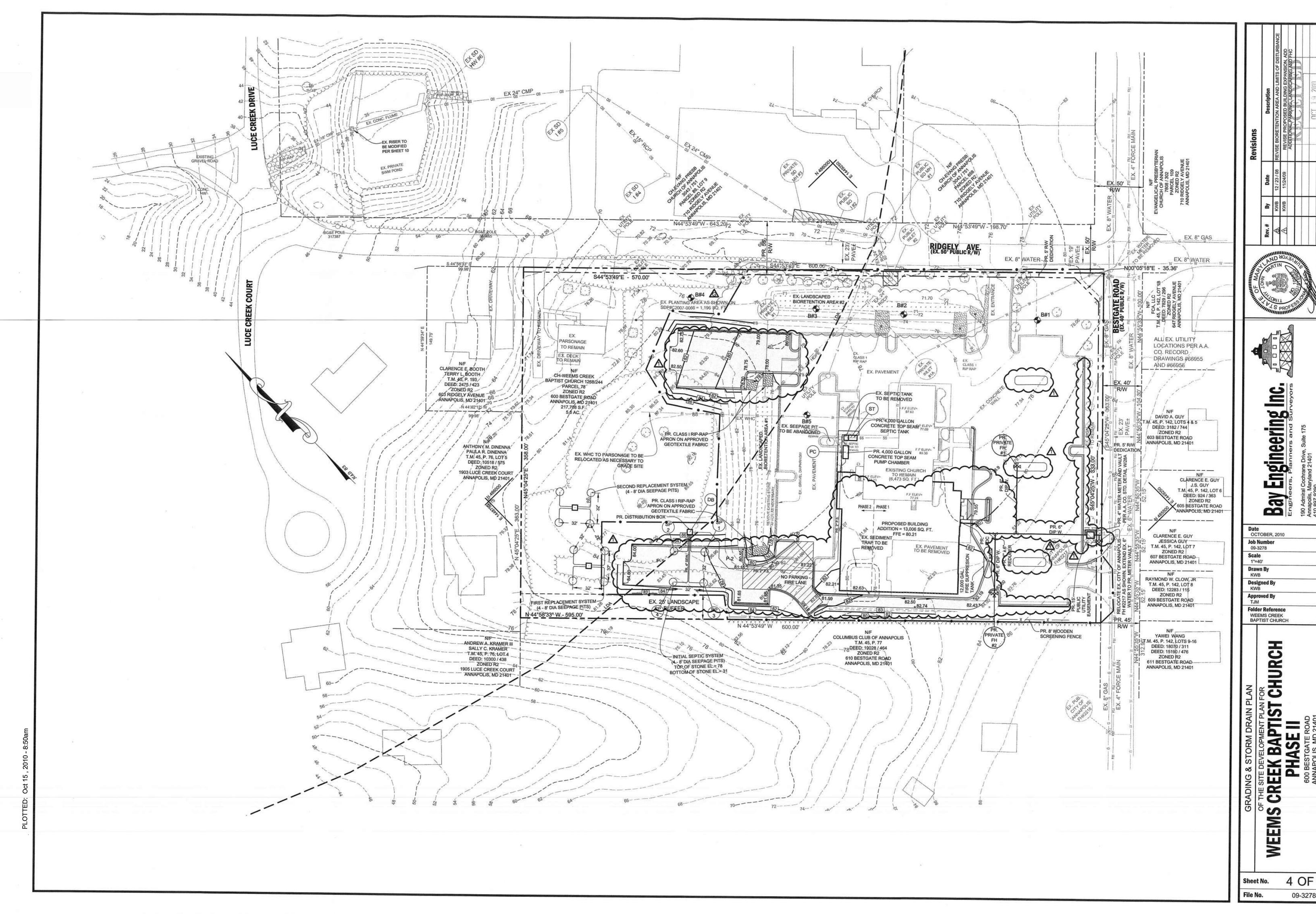
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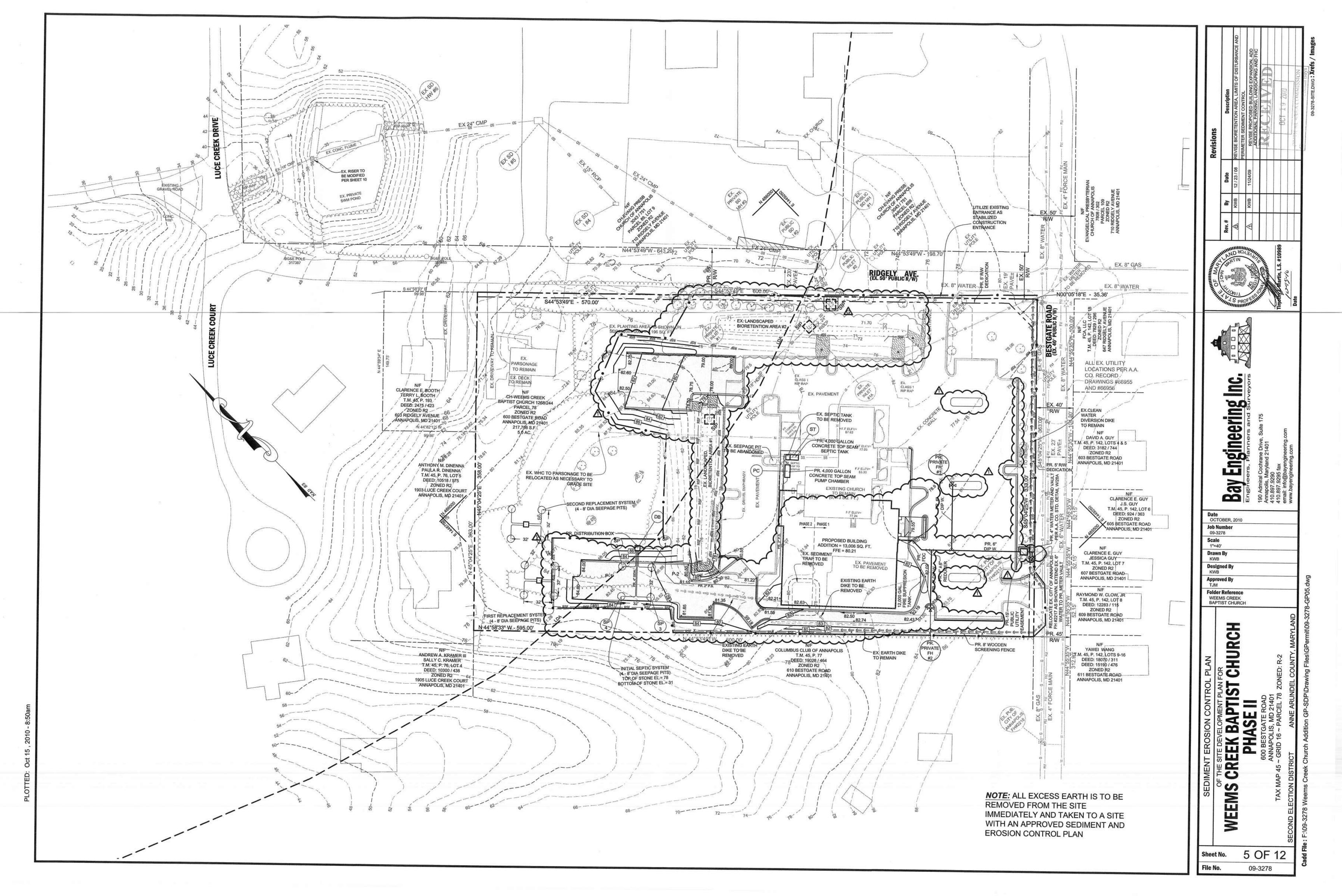
2 OF 12

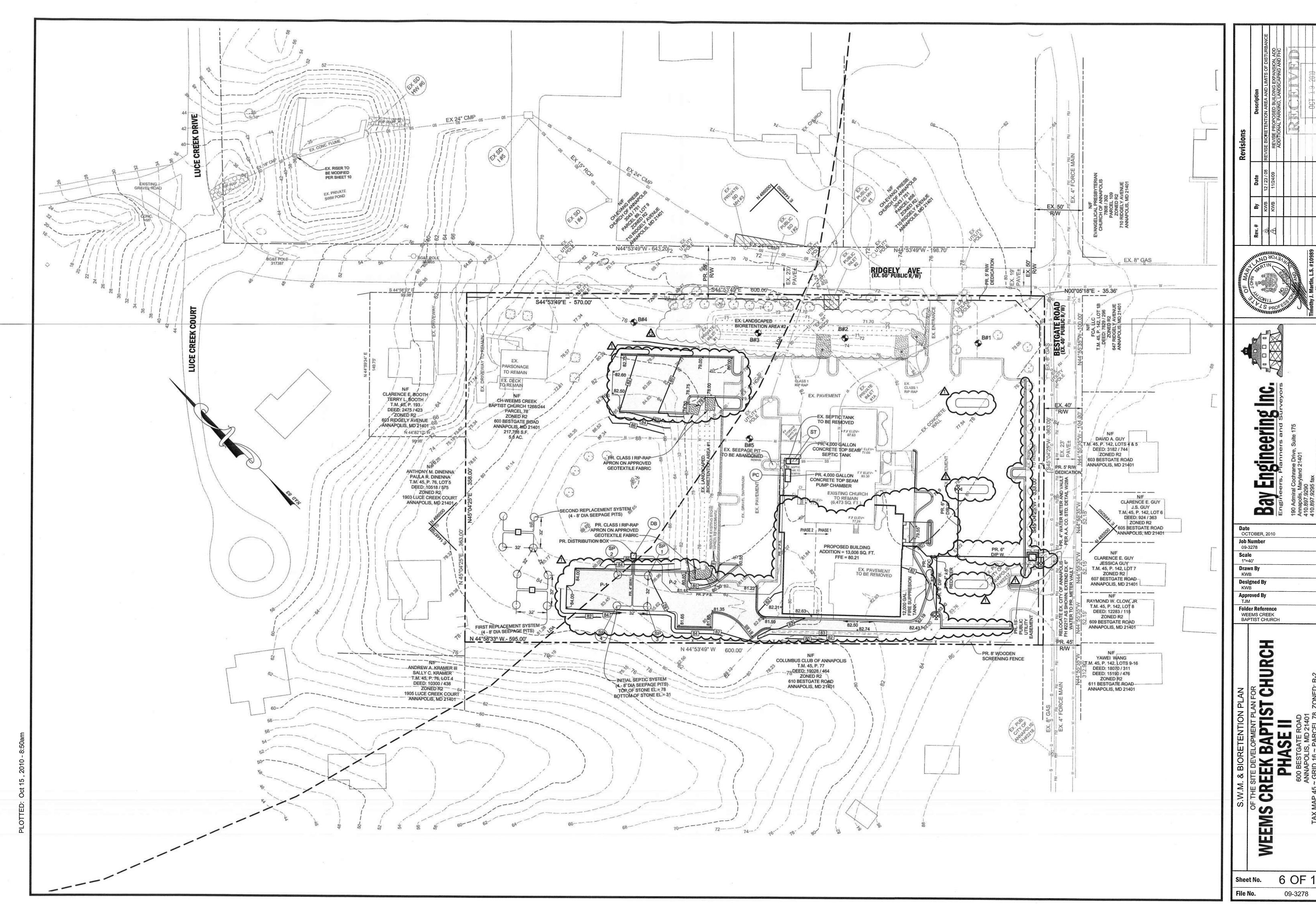


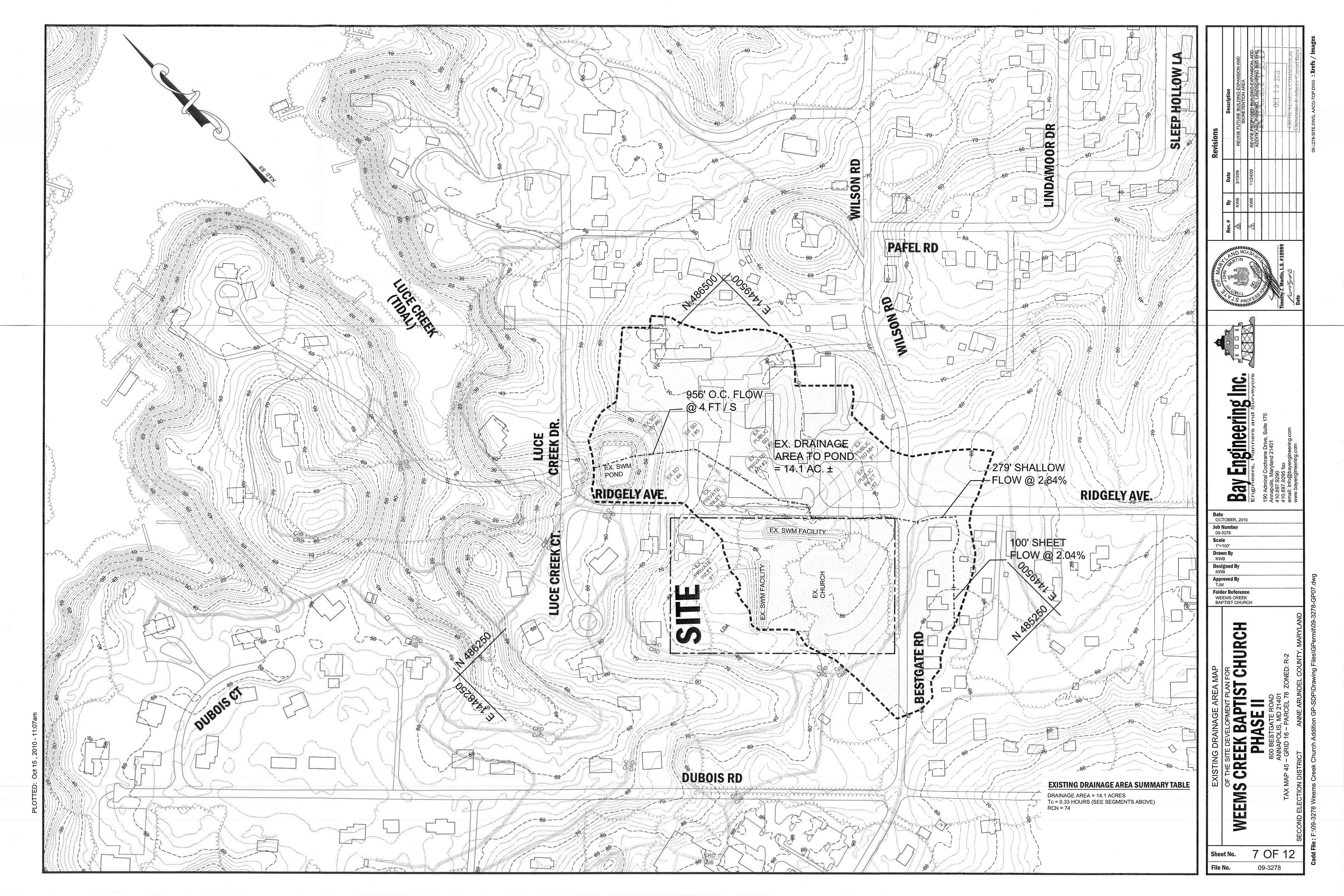
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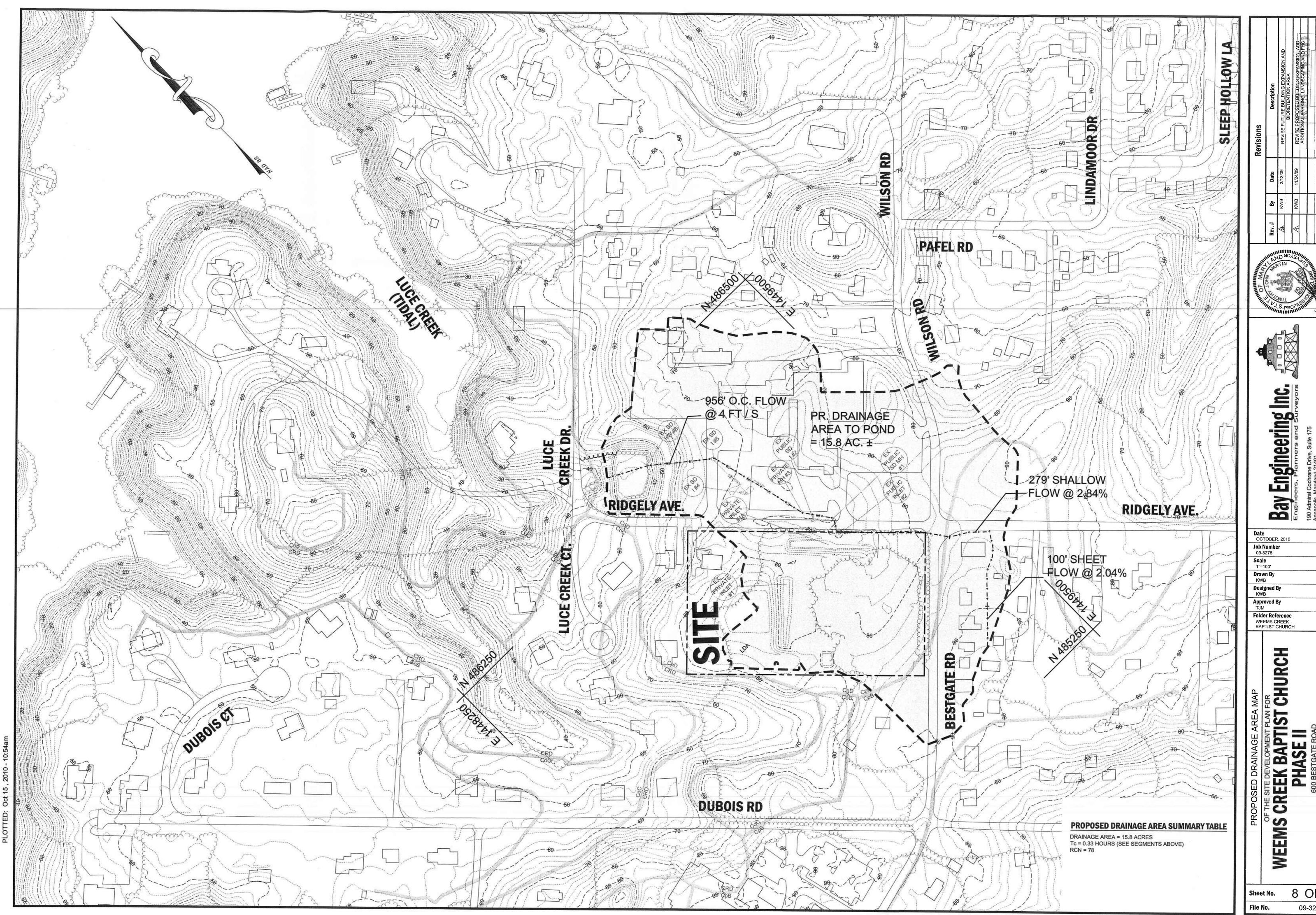


4 OF 12 09-3278



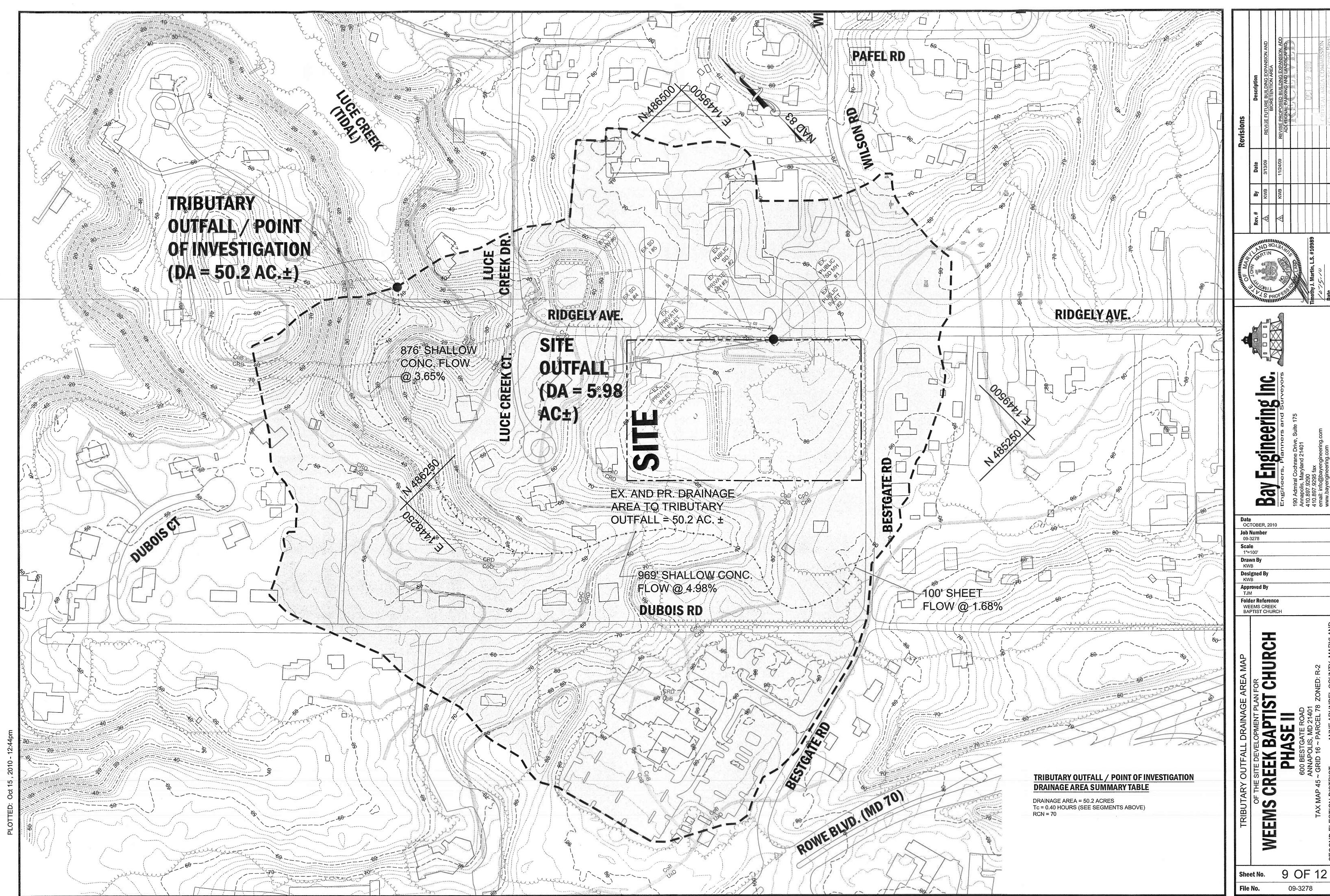


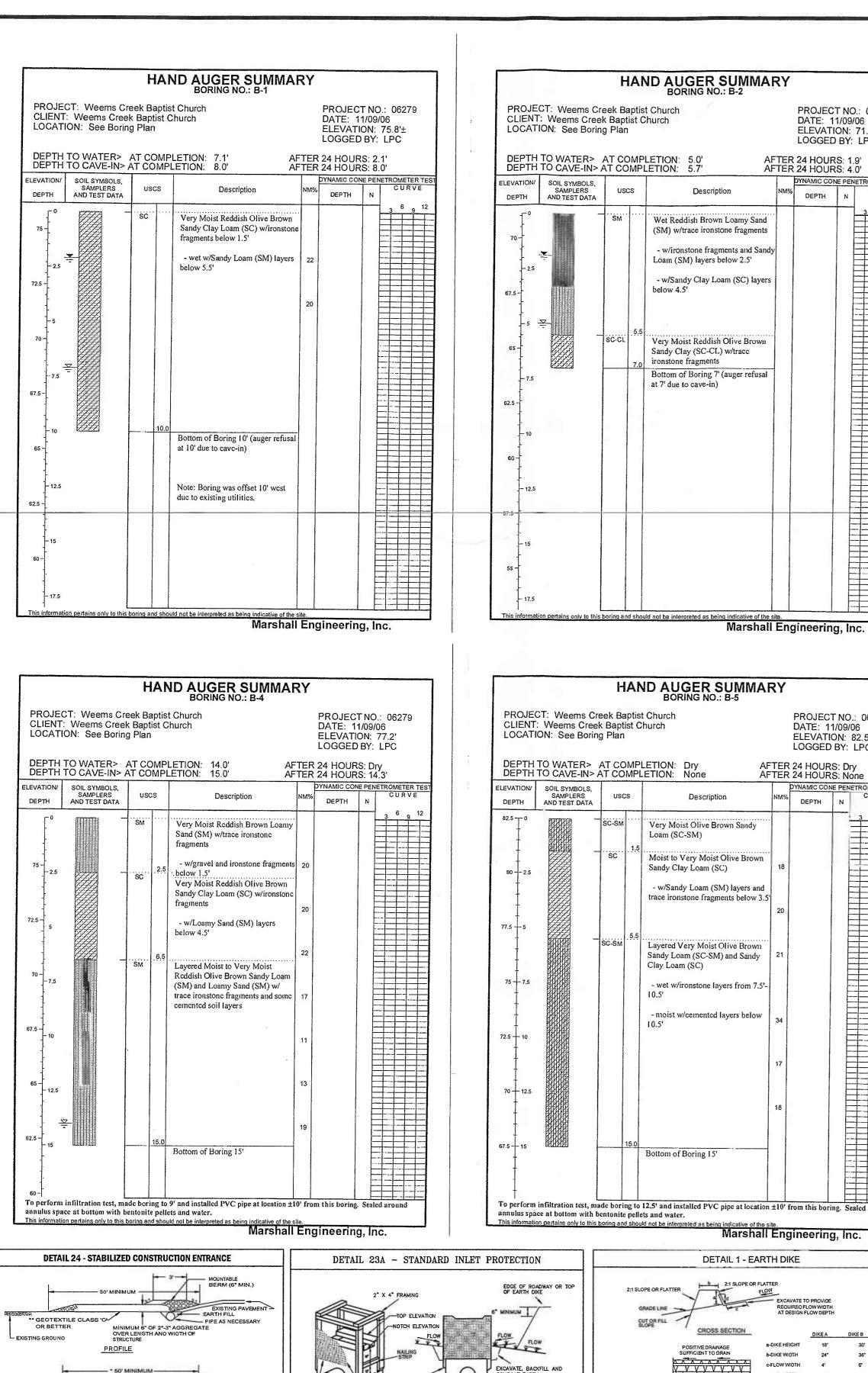




8 OF 12

09-3278





6. If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6° higher than the top of the frame.

rain and the geotextile replaced when it becomes clagged.

PLAN VIEW

TO BE SIZED ACCORDING TO THE DRAINAGE, WHEN THE SCE IS LOCATED AT A HIGH SPOT AND

WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING

THE SITEMUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANC

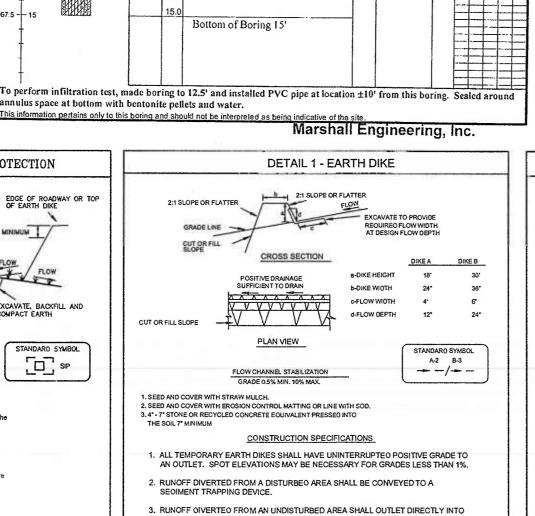
S NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED

6. LOCATION - a STABILIZEO CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT

1. LENGTH - MINIMUM OF 50' (*30' FOR SINGLE RESIDENCE LOT).

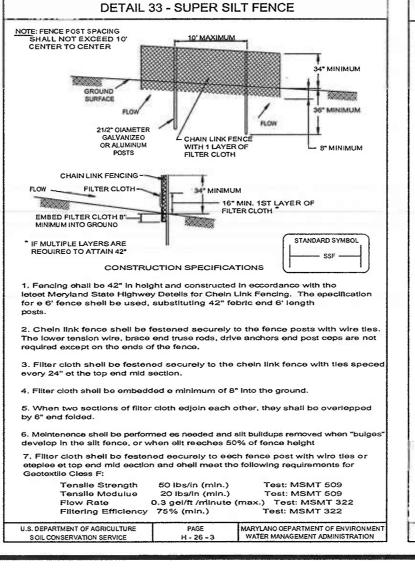
RESIDENCES TO USE GEOTEXTILE.

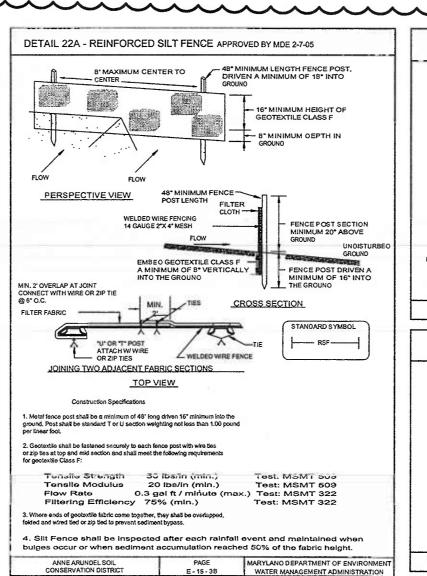
XXX SCE XXX



7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIKE

B. INSPECTION AND MAINTENANCE MUST BE PROVIDED PERIODICALLY AND AFTER





		Slit F	Fence Dosign Cr	riterie
	Slope Steepnes	s	(Maximum) Slope Length	(Maximum) Slit Fence Length
	Fletter then 50:	:1	unlimited	unlimited
	50:1 to 10:1		125 feet	1,000 feet
	10:1 to 5:1		100 feet	760 feet
	5:1 to 3:1		60 feet	500 feet
	3:1 to 2:1		40 feet	250 feet
	2:1 end steeper		20 feet	125 feet
	PARTMENT OF AGRIC CONSERVATION SER		PAGE E - 1S - 3C	MARYLANO OEPARTMENT OF ENVIRON WATER MANAGEMENT ADMINISTRAT
U.S. 0E	PARTMENT OF AGRIC	RVICE		WATER MANAGEMENT ADMINISTRAT
U.S. 0E	PARTMENT OF AGRIC	RVICE	E-1S-3C	WATER MANAGEMENT ADMINISTRAT
U.S. 0E	PARTMENT OF AGRIC	RVICE	E-18-30 R SILT FENCE	WATER MANAGEMENT ADMINISTRAT
U.S. 0E	PARTMENT OF AGRIC CONSERVATION SER	SUPE Slape	E - 1S - 3C R SILT FENCE Design Criteria Slope Length	WATER MANAGEMENT ADMINISTRAT
U.S. 0E	PARTMENT OF AGRIC CONSERVATION SER	SUPE Stoppe	E - 18 - 3C R SILT FENCE Design Criteria Slope Length (maximum) Unlimited	WATER MANAGEMENT ADMINISTRAT
U.S. 0E	PARTMENT OF AGRIC CONSERVATION SEP Slope 0 - 10%	SUPE Stope Stoophess 0 - 10:1	E - 18 - 3C R SILT FENCE Design Criteria Slope Length (maximum) Unlimited	Silt Fence Length (moximum) Unlimited
U.S. 0E	Slope 0 - 10%	SUPE Stope Stoopness 0 - 10:1 10:1 - 5:1	E - 18 - 3C R SILT FENCE Design Criteria Slope Length (maximum) Unlimited 200 feet	Silt Fencs Length (maximum) Unlimited 1,500 feet
U.S. 0E	Slope 0 - 10% 10 - 20% 20 - 33%	SUPE Stape Steepness 0 - 10:1 10:1 - 5:1 5:1 - 3:1	E - 18 - 3C R SILT FENCE Design Criteria Slope Length (maximum) Unlimited 200 feet 100 feet	Silt Fencs Length (moximum) Unlimited 1,500 feet 1,000 feet

24.0 MATERIALS **SPECIFICATIONS - TABLE 27 GEOTEXTILE FABRICS**

CLASS	APPARENT OPENING SIZE MM. MAX.	GRAB TENSILE STRENGTH LB. MIN.	BURST STRENGTH PSI. MIN.
Α	0.30	250	500
В	0.60	200	320
С	0.30	200	320
D	0.60	90	145
E	0.30	90	145
(SILT FENCE)	0.40-0.80*	90	190

* US STD SIEVE CW-02215

EVANGELICAL PRESBYTERIAN CHURCH

MODIFIED RISER DETAILS

34.35

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SECTION A-A

(WALL A & C)

EX. TOP EL= 43.41

FXISTING-

WITH 3*

ORIFICE

INV.= 34.61

STEEL PLATE

NOTE: CONTRACTOR TO REMOVE

OPENINGS AS SHOWN IN RELEASE

STRUCTURE OPENING NOTES ON

EXCESS CONCRETE IN WEIR

EX. REINFORCING

EX. 6" PVC

LOW FLOW ORIFICE -

THIS PAGE.

BAR TRASH RACK ___

TO REMAIN

(TYP.)

- THE PROPERTIES SHALL BE DETERMINED IN ACCORDANCE WITH THE FOLLOWING PROCEDURES: - APPARENT OPENING SIZE: MSMT 323
- GRAB TENSILE STRENGTH: ASTM D 1682: 4x8" SPECIMEN, 1x2" CLAMPS, 12"/MIN. STRAIN RATE IN BOTH PRINCIPAL DIRECTIONS OF GEOTEXTILE
- BURST STRENGTH: ASTM D 3786

THE FABRIC SHALL BE INERT TO COMMONLY ENCOUNTERED CHEMICALS AND HYDROCARBONS, AND WILL BE ROT AND MILDEW RESISTANT, IT SHALL BE MANUFACTURED FROM FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS, AND COMPOSED OF A MINIMUM OF 85% BY WEIGHT OF POLYOLEPHINS, POLYESTERS, OR POLYAMIDES. THE GEOTEXTILE FABRIC SHALL RESIST DETERIORATION FROM ULTRAVIOLET EXPOSURE.

IN ADDITION, CLASSES A THROUGH E SHALL HAVE A 0.01 CM./SEC. MINIMUM PERMEABILITY WHEN TESTED IN ACCORDANCE WITH MSMT 507, AND AN APPARENT MINIMUM ELONGATION OF 20 PERCENT (20%) WHEN TESTED IN ACCORDANCE WITH THE GRAB TENSILE STRENGTH REQUIREMENTS LISTED ABOVE.

SILT FENCE CLASS F GEOTEXTILE FABRICS FOR SILT FENCE SHALL HAVE A 50 LB./IN.

MINIMUM TENSILE STRENGTH AND A 20 LB./IN. MINIMUM TENSILE MODULES WHEN TESTED IN ACCORDANCE WITH msmt 509. THE MATERIAL SHALL ALSO HAVE A 0.3 GAL./FT.2/MIN. FLOW RATE AND SEVENTY-FIVE PERCENT (75%) MINIMUM FILTERING EFFICIENCY WHEN TESTED IN ACCORDANCE WITH MSMT 322.

GEOTEXTILE FABRICS USED IN THE CONSTRUCTION OF SILT FENCE SHALL RESIST DETERIORATION FROM ULTRAVIOLET EXPOSURE. THE FABRIC SHALL CONTAIN SUFFICIENT AMOUNTS OF ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 12 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 TO 120 DEGREES F.

7 100 YR. W.S. ELEV.= 43.77

10 YR. W.S. ELEV.= 42.25

EX. 18" CMP OUTFALL

PLAN VIEW

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
- A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCT: VEGETATIVE GROWTH.
- B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT
- C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2: 1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- II. TOPSOIL SPECIFICATIONS SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
- A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 11/211 IN DIAMETER.
- B. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS. QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS
- C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
- A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN "20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS
- V. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
- A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
- 1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
- 2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
- 3. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION
- 4. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
- NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN "20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS."

V. TOPSOIL APPLICATION

EX. TOP EL= 43.41

—(TYP.)

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SECTION B-B

NOTE: ALL WATER SURFACE

PROPOSED CONDITIONS

ELEVATIONS SHOWN ARE FOR

(WALL B & D)

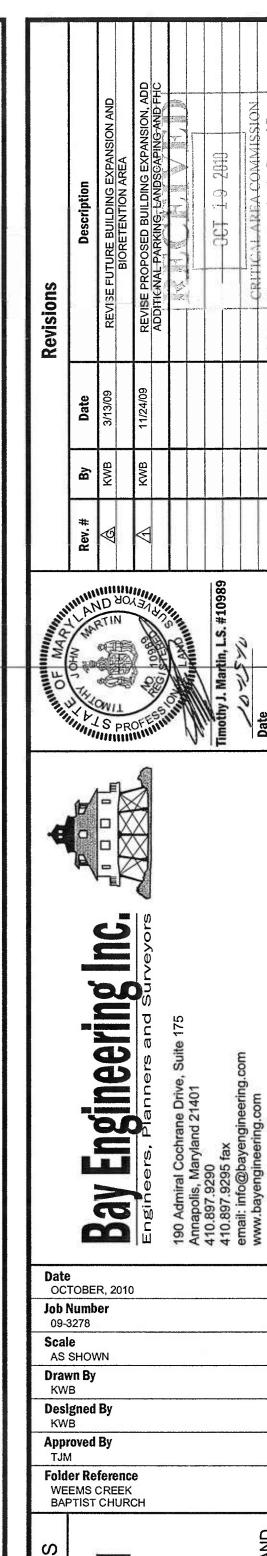
EX. 18" CMP

EX. REINFORCING

BAR TRASH RACK

- A. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- B. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED.
- C. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- D. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- VI. ALTERNATIVE FOR PERMANENT SEEDING INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS
- A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
- 1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
- 2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
- 3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
- B. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

FERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, OPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC TITUTES. REVISED 1973.



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BAP ASE

09-3278

WIRE MESH EOTEXTILE CLASS E MAX. DRAINAGE AREA = 1/4 ACRE Construction Specification 1. Excavate completely around the inlet to a depth of 18° below the 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the injet. Place nall etrips between the op of the frome (weir) must be 6° below adjacent roadways where 2. WIOTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING flooding and safety issues may orise. 3. Stretch the 1/2° x 1/2° wire mesh tightly around the frame RUNOFF OIVERTEO FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED, STABILIZED AREA AT A NON-EROSIVE VELOCITY. and fasten securely. The ends must meet and averlap at a O PLACING STONE. "THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY 4. Stretch the Geotextile Class E tightly over the wire mesh with 4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONAL MATERIAL a geotixtile extending from the top of the frome to 18" below the let natch elevation. Fasten the geatextile firmly to the frame. 4. STONE - CRUSHED AGGREGATE (2° TO 3°) OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6° DEEP OVER THE LENGTH AND WIGHT OF THE SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE OIKE. The ends of the geatextile must meet at a past, be averlapped and THE DIKE SHALL BE EXCAVATEO OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK 5. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION 5. Backfill around the inlet in compacted 6° layers until the PROJECTIONS OF OTHER IGREGULARITIES WHICH WILL IMPECE NORMAL PL. W. layer of earth is level with the natch elevation on the ends and MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6° OF STONE OVER THE PIPE. PIPE HAS . FILL SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT

HAND AUGER SUMMARY BORING NO.: B-3

Description

Wet Brown Loamy Sand (SM)

Very Moist Olive Brown Sandy

Clay Loam (SC) w/trace ironstone

- moist to very moist below 3.5

Layered Moist to Very Moist Olive

Brown Sandy Loam (SC-SM) and

Sandy Clay Loam (SC) w/cemented

layers and trace ironstone fragments

To perform infiltration test, made boring to 12' and installed PVC pipe at location ±10' from this boring. Sealed around

RELEASE STRUCTURE

- EXISTING INV. = 41.57

CONTROLLED ORIFICE

- EXISTING INV.= 34.61

- EXISTING INV. = 41.56

- EXISTING INV. = 41.49

- EXISTING INV.= 34.35

- EXISTING INV. = 41.54

NOTE: EXISTING WEIR

- PROPOSED INV.= 41.42

ELEVATIONS FIELD VERIFIED BY

BAY ENGINEEING, INC. ON 9/11/09.

OUTFALL PIPE:

- EX. 18" CMP

WALL D

- PROPOSED INV.= 41.42

- PROPOSED INV.= 41.42

- PROPOSED INV. = 4 42

- EX. 6" DIA. WITH 3" INTERNALLY

OPENINGS:

PROJECT NO.: 06279

DATE: 11/09/06

AFTER 24 HOURS: 14.5'

DEPTH N

ELEVATION: 77.6'

LOGGED BY: LPC

PROJECT: Weems Creek Baptist Church

DEPTH TO WATER> AT COMPLETION: Dry DEPTH TO CAVE-IN> AT COMPLETION: None

annulus space at bottom with bentonite pellets and water.

NOTE: SEE SHEETS 2

BORING LOCATIONS

NOTE: ALL BORINGS

WERE PERFORMED

2006 BY MARSHALL

ENGINEERING, INC.

ISLAND ROAD, SUITE

21037 AND SIGNED

MARSHALL, MD REG.

AND SEALED BY

JOHN PHILLIP

P.E. #8202

#2, EDGEWATER, MD

3161 SOLOMONS

ON NOVEMBER 9,

AND 4 FOR SOIL

his information pertains only to this boring and should not be interpreted as being

CLIENT: Weems Creek Baptist Church

LOCATION: See Boring Plan

SAMPLERS AND TEST DATA

LEVATION/ SOIL SYMBOLS.

DEPTH

PROJECT NO.: 06279

DATE: 11/09/06

ELEVATION: 71.1'

LOGGED BY: LPC

AFTER 24 HOURS: 1.9

AFTER 24 HOURS: 4.0'

DEPTH N

PROJECT NO.: 06279

DYNAMIC CONE PENETROMETER TE

DATE: 11/09/06

ELEVATION: 82.5°

LOGGED BY: LPC

AFTER 24 HOURS: Dry

AFTER 24 HOURS: None

DEPTH N

LANDSCAPE SCHEDULE & COST ESTIMATE:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	ROOT	SPACING	COST
SHAD	E TREES			20 20 M			
СВ	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	6	2" - 2 1/2" CAL	B&B	AS SHOWN	\$250 EACH
GB	ULMUS RUBRA	SLIPPERY ELM	1	2" - 2 1/2" CAL	B&B	AS SHOWN	\$250 EACH
QB	QUERCUS BOREALIS	RED OAK	14	2" - 2 1/2" CAL	B&B	AS SHOWN	\$250 EACH
AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	27	2" - 2 1/2" CAL	B&B	AS SHOWN	\$250 EACH
ORNA	MENTAL TREES						
CC	CERCIS CANADENSIS	REDBUD	1	6' - 8' HEIGHT	B&B	AS SHOWN	\$250 EACH
SHRU	IBS						
IG	ILEX GLABRA 'COMPACTA'	DWARF INKBERRY	124	2' - 2 1/2' HEIGHT	CONT.	5' O.C.	\$30 EACH
AN	RHODODENDRON ATLANTICUM	DWARF AZALEA	38	3 GALLON	CONT.	3' O.C.	\$30 EACH
RC	RHODODENDRON CANESCENS	MOUNTAIN AZALEA	4	2' - 2 1/2' HEIGHT	CONT.	5' O.C.	\$30 EACH
CA	CLETHRA ALNIFOLIA	SUMMERSWEET	13	3' - 4' HEIGHT	CONT.	4' O.C.	\$30 EACH
		1 Annual Control of the Control of t				TOTAL :	= \$17,620

PREVIOUS GRADING PERMIT BOND AMOUNT WAS \$105,078.00 PREVIOUS LANDSCAPE COST ESTIMATE SHOWN ON THE PREVIOUS GRADING PERMIT BOND WAS \$15,120.00

LUNAL CULLUL TOO

EX. 12" BLACK CHERRY

EX. 38" OAK

LIGHTING NOTE

RESERVES THE RIGHT TO REVIEW ALL SITE LIGHTING PRIOR TO FINAL OCCUPANCY TO DETERMINE IF ANY GLARE IS SHED UPON ADJOINING AND NEARBY PROPERTIES. MODIFICATION OF A LIGHT FIXTURE (S) OR ADDITIONAL LANDSCAPE SCREENING MAY BE NECESSARY IF GLARE IS DETERMINED TO

CREATE A NUISANCE.

TELEPHONE

FACSIMILE

EX. PAVEMENT

PHASE 2 | PHASE 1

COLUMBUS CLUB OF ANNAPOLIS

DEED: 19028 / 464

EXISTING CHURCH

(6,473 SQ. FT.)

PROPOSED BUILDING

ADDITION = 13,006 SQ. FT.

FFE = 80.21

PLANTING NOTES THE LANDSCAPE ARCHITECT THREE DAYS PRIOR TO SCHEDULED PLANTING TO ARRANGE ON SITE APPROVAL OF PLANT LOCATIONS.

2. ALL WORK TO MEET OR EXCEED LANDSCAPE CONTRACTOR'S ASSOCIATION OF METROPOLITAN

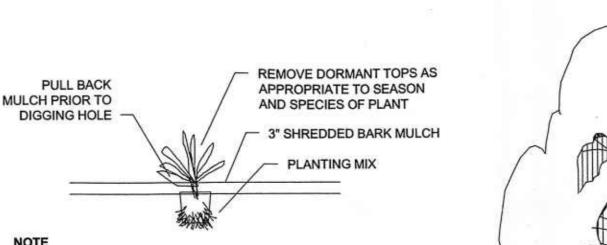
WASHINGTON "SUGGESTED SPECIFICATIONS". 3. ALL PLANT MATERIAL TO MEET OR EXCEED AMERICAN ASSOCIATION OF NURSERYMEN "STANDARDS FOR

4. ALL PLANTING TO RECEIVE A 3" LAYER OF SHREDDED BARK MULCH IN CONTINUOUS BEDS WHERE

5. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE UNACCEPTABLE PLANT MATERIALS AND

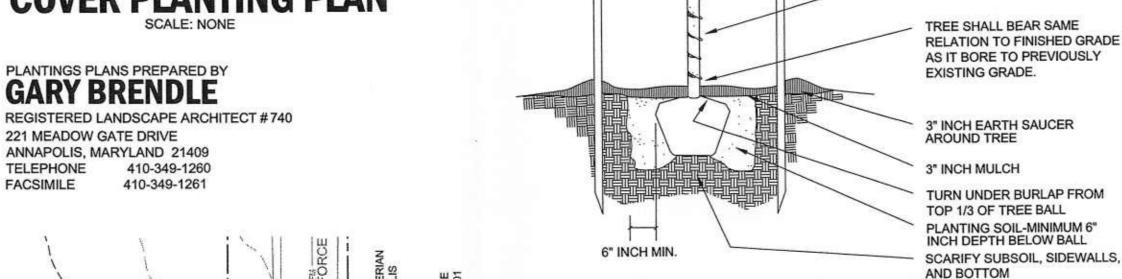
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE SUBSTITUTIONS WITH THE CITY OF

ANNAPOLIS DEPARTMENT OF PLANNING & ZONING (410-263-7961). CONTACT THE LANDSCAPE ARCHITECT FOR DECISION PRIOR TO PURCHASE OF SUBSTITUTE MATERIAL. 7. CALL LANDSCAPE ARCHITECT WITH ANY QUESTION, SUGGESTIONS OR COMMENTS REGARDING THIS PLAN. CROWTHER & ASSOCIATES (410-267-9437).



REMOVE CONTAINER AND PULL ROOT MAT OUT OF THE POTTING MIX. CRUSH 2 1/4" PEAT POT CONTAINERS TO MAKE SPACE FOR THE ROOTS

PERENNIAL & GROUND COVER PLANTING PLAN



DAVID A. GUY

DEED: 3182 / 744

ZONED R2

603 BESTGATE ROAL

ANNAPOLIS, MD 21401

CLARENCE E. GUY

JESSICA GUY-

T.M. 45, P. 142, LDT 7

ZONED R2

607 BESTGATE ROAD

RAYMOND W. CLOW, JR

DEED: 12283 / 115

ZONED R2

ANNAPOLIS, MD 21401

609 BESTGATE ROAD

ANNAPOLIS, MD 21401 L

J.S. GUY

T.M. 45, P. 142, LOT 6

DEED: 924 / 363

ZONED R2

M. 45, P. 142, LOTS 4 & 5

TREE PLANTING DETAIL

LANDSCAPE GENERAL NOTES

RUBBER HOSES 2/3 UP TREE

HARDWOOD STAKES ON ALL TREES SPACED 120 DEGREES

TRUNK WRAPPING (FROM BALL

TO SECOND BRANCH)

OR TO FIRST BRANCH

3- 2" INCH BY 2" INCH

TURNBUCKLES

SEE SITE PLAN AND GRADING PLAN FOR LOCATION OF ALL EXISTING AND PROPOSED UTILITIES, STRUCTURES, ETC. CONTRACTOR TO VERIFY LOCATION OF OVERHEAD UTILITIES, IF ANY, AND ADJUST PLANT

SEE FOREST CONSERVATION PLAN FOR TREE PROTECTION DEVICES. ALL PLANTING SHALL CONFORM TO CURRENTLY APPROVED STANDARD HORTICULTURAL PRACTICE. SEE PLANTING DETAILS. PLANTING SHALL TAKE PLACE BETWEEN MARCH 15-JUNE 1

ALL PLANT MATERIAL SHALL CONFORM TO CURRENT STANDARDS AS DEFINED BY THE AMERICAN NURSERYMAN'S ASSOCIATION AND EACH SHALL BE CLEARLY TAGGED WITH ITS BOTANICAL NAME. NO SUBSTITUTIONS SHALL BE PERMITTED AFTER BID HAS BEEN ACCEPTED. ALL PLANTS SHALL BE CERTIFIED BY THE CONTRACTOR TO BE FREE OF PESTS, FUNGI AND/OR

PLANTING BEDS AND PITS SHALL BE RENDERED FREE OF ROCKS AND ANY DEBRIS FOUND DURING THE TILLING AND PREPARATION PROCESS.

8. PLANTING BEDS SHALL BE TILLED TO A MINIMUM OF 8". IF ANY UNSUITABLE CONDITIONS, SUCH AS EXTREME COMPACTION OF HIGH WATER TABLE ARE ENCOUNTERED, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY

9. A MINIMUM OF 2" DEPTH OF PEAT MOSS OR "LEAF GRO" AND 2" DEPTH OF CLEAN, LOAMY TOPSOIL SHALL BE SPREAD EVENLY OVER ALL PLANTING BEDS AND INCORPORATED BY TILLING. IN COMPACTED CONDITIONS OR CLAY, A MINIMUM OF 1" OF SAND SHALL ALSO BE 10. A SUITABLE SLOW RELEASE TYPE FERTILIZER SHALL BE USED IN ACCORDANCE WITH THE

MANUFACTURER'S RECOMMENDATIONS AND BASED ON SOIL SAMPLES TAKEN ON-SITE AFTER GRADING HAS BEEN COMPLETED. SUBMIT FERTILIZER INFORMATION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO COMMENCING PLANTING OPERATIONS. SOIL MIX FOR PLANTING PITS SHALL CONSIST OF 3 PARTS BY VOLUME EXISTING ON-SITE SOIL, 1 PART PEAT MOSS OR "LEAF GRO" AND SLOW-RELEASE TYPE FERTILIZER COMBINED PER

PART CLEAN SAND. THIS MIX SHALL BE PREPARED PRIOR TO USE AS BACKFILL PLANTING MIX. 12. IF ANY UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED THAT CONFLICT WITH THE PLANNED PLANTINGS, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. 13. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING FOR INSPECTION AND APPROVAL

MANUFACTURERS RECOMMENDATIONS. IN COMPACTED CONDITIONS OR CLAY, ALSO ADD 1

OF ALL PLANT MATERIAL PRIOR TO ANY INSTALLATION. THIS MAY BE WAIVED BY THE GENERAL 14. IF ANY CONFLICTS ARE FOUND BETWEEN THE INFORMATION SHOWN IN THE LANDSCAPE PLAN AND THAT SHOWN IN THE PLANT LIST, CONTACT THE LANDSCAPE ARCHITECT PRIOR TO THE

 ALL PLANTING BEDS AND PITS SHALL BE NEATLY HAND EDGED UNLESS OTHERWISE SPECIFIED. ALL PLANTING BEDS AND PITS SHALL BE PROVIDED WITH 3" OF SHREDDED BARK MULCH, SPREAD EVENLY, UNLESS OTHERWISE SPECIFIED. IN ADDITION, PLANT PITS SHALL HAVE A 3"

HIGH MULCH RIM OR "SAUCER" PROVIDED. 17. A WATER SOURCE FOR PLANTING AND MAINTENANCE OPERATIONS SHALL BE PROVIDED BY THE OWNER/CLIENT. IF A SOURCE IS NOT AVAILABLE ON SITE, CONTRACTOR WILL INCLUDE A WATER SUPPLY PRICE IN HIS/HER BID. THE CONTRACTOR SHALL PROVIDE WATERING

ANY LAWN SURFACES DAMAGED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REPAIRED IN KIND BEFORE THE JOB SHALL BE ACCEPTED FOR FINAL APPROVAL. 19. THE OWNER'S PROPERTY AND ANY AFFECTED ABUTTING PROPERTY SHALL BE LEFT CLEAN AND FREE OF ANY EXCESS MATERIALS AND DEBRIS RESULTING FROM AMY PHASE OF THE LANDSCAPE OPERATIONS

 THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING, AS NECESSARY, ANY PROPERTY OF THE OWNER/CLIENT OR ANY ABUTTING AFFECTED PROPERTY THAT IS DAMAGED BY THE CONTRACTOR'S OPERATIONS, EQUIPMENT OR CREW. ANY SUCH REPAIR OR REPLACEMENT SHALL TAKE PLACE IN A TIMELY FASHION AND IN A MANNER THAT MEETS WITH THE APPROVAL OF THE OWNER/CLIENT.

ALL PLANT MATERIAL SHALL BE WARRANTED FOR A ONE YEAR PERIOD BEGINNING AT THE DATE OF ACCEPTANCE OF THE COMPLETED INSTALLATION. THIS SHALL INCLUDE ONE REPLACEMENT TO MATCH THE ORIGINAL. IF THE CONTRACTOR IS OF THE OPINION THAT ANY SPECIFIED PLANT MATERIAL WILL NOT SURVIVE ITS PLANNED LOCATION, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED PRIOR TO BID. A TREE SHALL BE REPLACED IF THE MAIN LEADER HAS DIED BACK OR THE CANOPY IS 25% DEAD. A SHRUB SHALL BE CONSIDERED DEAD IF 25% OF THE CROWN IS DEAD.

22. THE CONTRACTOR IS LIABLE FOR ALL MAINTENANCE FOR A TWO MONTH PERIOD FOLLOWING COMPLETION. DURING THE REMAINDER OF THE WARRANTY PERIOD, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE INSTALLATION AND MAKING MAINTENANCE RECOMMENDATIONS TO THE OWNER/CLIENT. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, HERBICIDE, PESTICIDE, FUNGICIDE OR FERTILIZER APPLICATION, PATCHING OR REAPPLYING MULCH TO MAINTAIN DEPTH, PRUNING, ADJUSTING STAKES, WEEDING AND REPAIRING BED EDGES.

INTERIOR PARKING CALCULATIONS

1. INTERIOR PARKING AREA: 68,867 S.F.

2. INTERIOR GREEN AREA REQUIRED (10.00%): 6,687 S.F.

3. INTERIOR GREEN AREA PROVIDED (10.49%): 7,222 S.F.

4. INTERIOR SHADE TREES REQUIRED: 33 TREES

5. INTERIOR SHADE TREES PROVIDED: 33 TREES

 BESTGATE ROAD (40' RIGHT-OF-WAY) - 340 L.F. REQUIRED BUFFER YARD: 15' WITH 11 SHADE TREES PROVIDED BUFFER YARD: > 15' WITH 4 EX. SHADE TREE, 12 ORNAMENTAL TREES, 3 PR. SHADE TREES

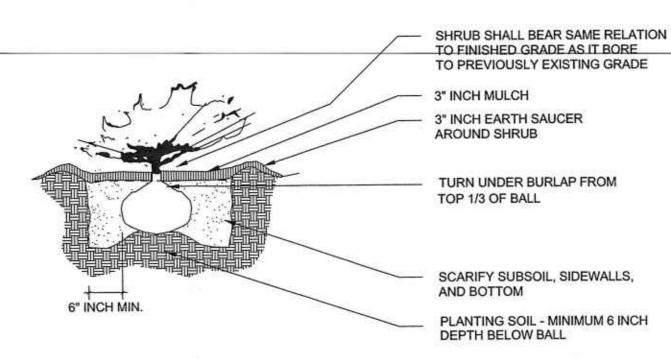
BUFFER YARD CALCULATIONS

SOUTHWEST PROPERTY LINE (KULDA) - 490 L.F. REQUIRED BUFFER YARD: 25' WITH 16 SHADE TREES

PROVIDED BUFFER YARD: 25' WITH 8 PROPOSED SHADE TREES AND AN 8' TALL WOODEN SCREENING FENCE 3. NORTHWEST PROPERTY LINE (LOT 5, BOOTH) - 340 L.F.

REQUIRED BUFFER YARD: 25' WITH 11 SHADE TREES PROVIDED BUFFER YARD: >25' WITH MANY EXISTING SHADE TREES INCLUDING 5 OAKS > 36" DIAMETER

4. RIDGELY AVENUE (40' RIGHT-OF-WAY) - 400 L.F. REQUIRED BUFFER YARD: 15' WITH 13 SHADE TREES PROVIDED BUFFER YARD: > 15' WITH 7 EXISTING SHADE TREES, 9 EXISTING EVERGREEN TREES, AND 4 PROPOSED SHADE TREES



SHRUB PLANTING DETAIL

TREE PROTECTION NOTES

THE FOLLOWING INFORMATION WAS PROVIDED BY GARY BRENDLE, LANDSCAPE ARCHITECT.

ALL TREE PROTECTION MEASURES ARE TO BE PERFORMED BY A CERTIFIED ARBORIST.

PRE-CONSTRUCTION RECOMMENDATIONS

REMOVE THE DEADWOOD IN PROTECTED TREES DURING DORMANT PERIOD OR UNTIL NEW GROWTH HA HARDENED OFF AND AFTER THE SPRING FLUSH OF GROWTH (AFTER MID-JUNE)

TAKE SOIL SAMPLES FROM AROUND THE TREES TO DETERMINE EXTENT OF THE MYCORRHIZAL FUNGI ASSOCIATIONS. SAMPLES WILL BE TAKEN AND INJECTIONS ARRANGED PRIOR TO CONSTRUCTION.

ASSESS EACH TREE FOR THE PRESENCE OF STRESSING INSECTS OR DISEASES. THIS SHOULD BE PERFORMED THE SAME TIME SOIL SAMPLES ARE COLLECTED.

ROOT PRUNING OPERATION SHOULD OCCUR ALONG THE LIMITS OF DISTURBANCE FOR THE TREES. A ROOT PRUNING TOOL (EITHER A HIGH PRESSURE AIR SPADE OR A ROTARY CUTTING WHEEL) IS USED TO SEVER THE ROOTS TO A DEPTH OF 24-36" BELOW GRADE. THE SEVERED ROOTS ARE THEN CUT CLEANLY WITH A SHARP PRUNING TOOL. IT IS RECOMMENDED THAT THIS TREATMENT BE DONE WHEN SOIL MOISTURE LEVELS HAVE BEEN ADEQUATE FOR AT LEAST ONE-HALF OF A GROWING SEASON, AND NOT DURING TIMES OF MAXIMUM TWIG EXPANSION OR DURING THE FALL SENESCENCE PERIOD. IT IS ALSO PREFERABLE TO HAVE AT LEAST SIX MONTHS LEAD TIME FOR THE TREES TO ADJUST TO THE STRESS OF ROOT PRUNING IN ADVANCE OF CONSTRUCTION ACTIVITIES.

THE DEVELOPER / CONTRACTOR TO CONTACT THE CITY OF ANNAPOLIS PLANNING AND ZONING AT 410-263-7961 OR THE ANNE ARUNDEL DEPARTMENT OF INSPECTIONS AND PERMITS AT 410-222-7780 TO REVIEW THE SITES L.O.D. STAKEOUT, FIELD MARKINGS AND TREE PROTECTION MEASURES PRIOR TO THE INSTALLATION OF ANY FENCING AND PRIOR TO THE START OF

PRIOR TO ANY HEAVY MACHINERY ARRIVING ON THE SITE, FOR SITE GRADING OR DEMOLITION ADEQUATE TREE PROTECTION FENCING MUST BE IN PLACE. SIGNAGE WILL BE ADDED TO THE FENCE THAT CLEARLY DELINEATES THE AREA AS TREE PROTECTION. A 4" - 6" LAYER OF HARDWOOD MULCH, OR AGED WOOD CHIPS, MUST BE INSTALLED WITHIN THE TREE PROTECTION FENCING. IT WILL ALSO BE IMPORTANT TO IDENTIFY ANY ROOT ZONES THAT MAY NOT BE WITHIN THE FORMAL TREE PROTECTION FENCING BUT SHOULD ALSO BE PROTECTED FROM COMPACTION.

A MINIMUM OF TWO TENSIOMETERS SHALL BE INSTALLED WITHIN THE CRZ FOR EACH TREE. METERS SHALL BE MONITORED, AND DATA RECORDED, BY A CERTIFIED ARBORIST, OR ON-SITE PERSONNEL FAMILIAR WITH TENSIOMETERS. ADJUSTMENTS SHALL BE MADE TO MOISTURE LEVELS AS NECESSAR' MOISTURE LEVELS MUST BE KEPT WITHIN AN ACCEPTABLE RANGE FOR EACH OF THE TWO TREES. METERS SHALL BE READ A MINIMUM OF ONCE PER WEEK DURING THE GROWING SEASON OF APRIL TO

POST-CONSTRUCTION PERIOD

A CERTIFIED ARBORIST SHALL SURVEY THE PROTECTED TREES ONCE ALL CONSTRUCTION ACTIVITIES HAVE CEASED. A WRITTEN REPORT SHALL BE GENERATED THAT DETAILS THE CONDITION OF THE TREES IN QUESTION. THIS REPORT SHALL ALSO DETAIL ANY FOLLOW-UP TREATMENTS THAT

REMOVAL OF TREE PROTECTION FENCING AND MULCH

ALL TREE PROTECTION FENCING FROM AROUND THE CRZ SHALL BE REMOVED. ALL WOOD CHIP MULCH SHALL ALSO BE REMOVED FROM THE SITE. NO LANDSCAPE MATERIAL, EXCEPT AS SHOWN HEREIN SHOULD BE ADDED TO THE AREA THAT WAS WITHIN THE CRZ FOR AT LEAST A PERIOD OF THREE YEARS. THE AREA WITHIN THE CRZ CAN BE RETURNED TO LAWN. A LIGHT APPLICATION OF TOPSOIL AND GRASS SEED IS ACCEPTABLE IN THIS AREA.

. POST CONSTRUCTION MAINTENANCE

THE OWNER SHALL UNDERTAKE THE NECESSARY ARBORICULTURAL TREATMENTS TO INSURE LONG TERM SURVIVAL OF THE PROTECTED TREES. THIS MAY INCLUDE SOIL AMENDMENTS, MOISTURE ADJUSTMENTS AND INSECT AND DISEASE CONTROL PROGRAMS. IT IS ALSO HIGHLY RECOMMENDED THAT THE OWNER RESTRICT THE USE OF DE-ICING SALTS ON THE PARKING LOT SURFACE. ONLY SAND SHALL BE USED IN THIS AREA TO TREAT WET OR ICY SURFACES.

THE DEVELOPER / CONTRACTOR SHALL ALLOW FOR INSPECTION VISITS BY AN ARBORIST TO INSURE THAT THE TREE PROTECTION PLAN IS BEING ENFORCED.

gineering OCTOBER, 2010 Job Number AS SHOWN

Drawn By

Folder Reference WEEMS CREEK BAPTIST CHURCH

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PARSONAGE

EX. DECK

TO REMAIN

TO REMAIN

CH-WEEMS CREEK

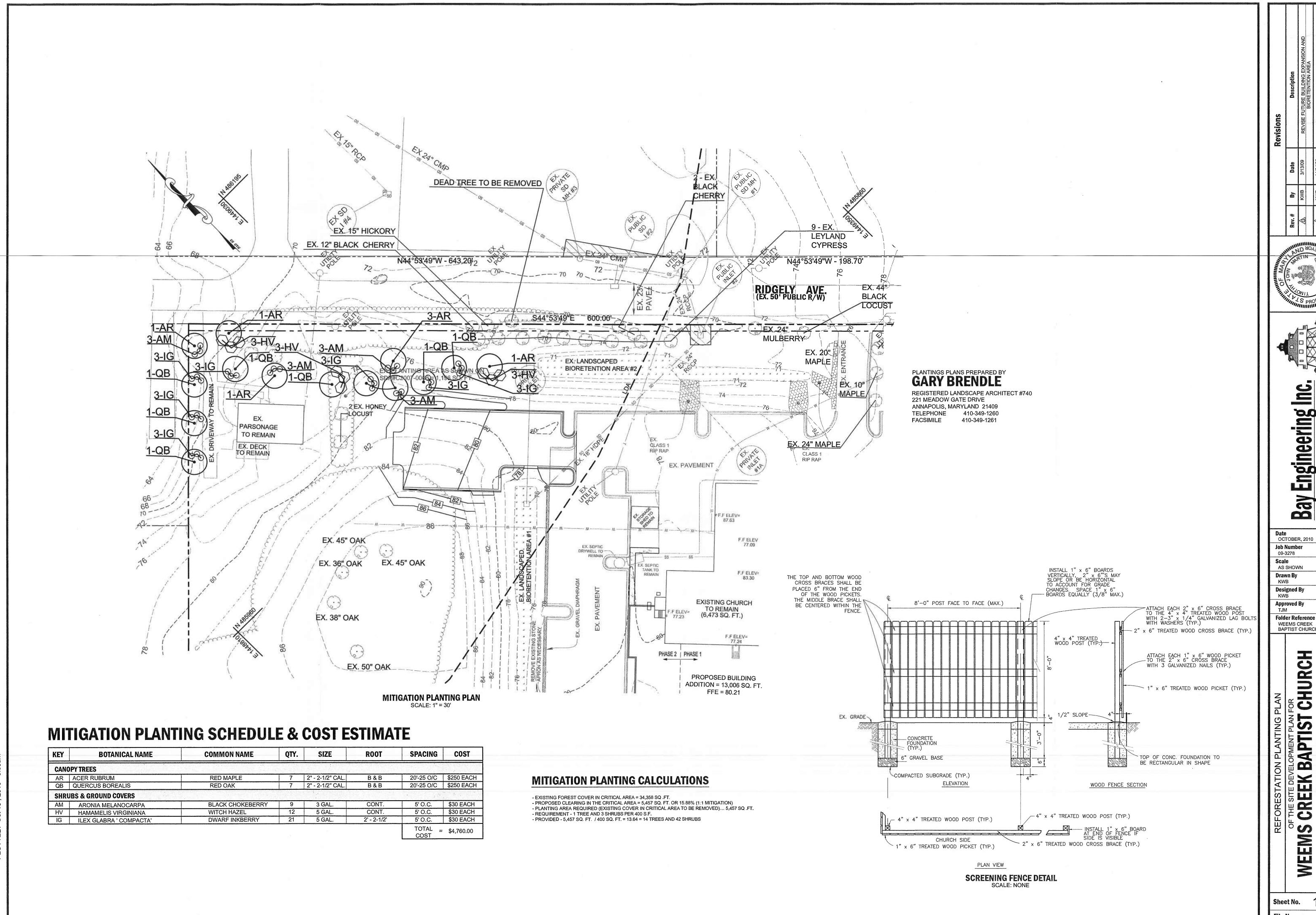
PARCEL 78

ZONED R2

600 BESTGATE ROAD ANNAPOLIS, MD 21401

217,708 S.F.

PTIST CHURCH 1268/244



Ingineering s, Planners and Surv OCTOBER, 2010 **Folder Reference** WEEMS CREEK BAPTIST CHURCH

CREEK BAPTIS PHASE II

12 OF 12

09-3278